

**City of Kelowna
Regular Council Meeting
AGENDA**



Monday, April 29, 2013
1:30 pm
Council Chamber
City Hall, 1435 Water Street

Pages

1. Call to Order

This meeting is open to the public and all representations to Council form part of the public record. A live audio feed is being broadcast and recorded by CastaNet and a delayed broadcast is shown on Shaw Cable.

2. Confirmation of Minutes

5 - 12

Regular PM Meeting - April 22, 2013

3. Public in Attendance

3.1 2012 United Way Campaign - Quantum Leap Giving Award

To present Council with the Quantum Leap Giving Award for the 2012 United Way Campaign.

4. Development Application Reports & Related Bylaws

4.1 Heritage Designation Application No. HD13-0001 - 0874309 BC Ltd., 784 Elliot Avenue

13 - 18

To designate "Copeland House" as a municipal heritage building under Section 967 of the Local Government Act.

4.1.1 Bylaw No. 10841 (HD13-0001) - Heritage Designation Bylaw "Copeland House" - 0874309 BC Ltd., 784 Elliot Avenue

19 - 19

To give Bylaw No. 10841 first reading.

- 4.2 **Heritage Revitalization Agreement Application No. HRA12-0001 - 0874309 BC Ltd., 784 Elliot Avenue** 20 - 72
- This application proposes to restore the heritage house located at 784 Elliot Avenue through the mechanism of a Heritage Revitalization Agreement (HRA). The building on the site currently has 10 existing non-conforming suites. With the HRA, the applicant is proposing to reconfigure the interior of the building to construct 6 suites. In phase two of the plan, a building addition to contain 3 suites is proposed.
- 4.2.1 **Bylaw No. 10840 (HRA12-0001) - Heritage Revitalization Agreement Authorization Bylaw, 0874309 BC Ltd., 784 Elliot Avenue** 73 - 97
- To give Bylaw No. 10840 first reading.
- 4.3 **Development Permit Application No. DP13-0013 - Lipkovits Holdings Ltd., 320 Nickel Road** 98 - 122
- To consider a Development Permit for a 6 unit multi- residential development.
- 4.4 **Rezoning Application No. Z10-0044, Extension Request - Nathan Morden, 120 Homer Road** 123 - 125
- To extend the deadline for adoption of the Zone Amending Bylaw from March 21, 2013 to March 21, 2014.
- 4.5 **Rezoning Application No. Z10-0104, Extension Request - Eric and Margaret Nickel, 1205, 1215, 1223 & 1229 Richter Street** 126 - 128
- To extend the deadline for adoption of the Zone Amending Bylaw from March 7, 2013 to March 7, 2014.
- 4.6 **Rezoning Application No. Z10-0096, Extension Request - 0831627 BC Ltd., 540 Osprey Avenue** 129 - 131
- To extend the deadline for adoption of the Zone Amending Bylaw from March 8, 2013 to March 8, 2014.
- 4.7 **Official Community Plan Bylaw Amendment Application No. OCP08-0011 and Rezoning Application No. Z07-0079, Extension Request - Kathleen (Kimble) Mooney, 526 Hawes Court (formerly known as 5007 Chute Lake Road)** 132 - 134
- To extend the deadline for adoption of the OCP and Zone Amending Bylaws from February 24, 2013 to February 24, 2014.
- 4.8 **OCP 2030 Bylaw 10500 - Miscellaneous Amendments (Bylaw 10746)**

THIS AGENDA ITEM HAS BEEN WITHDRAWN BY STAFF.

- 4.8.1 Bylaw No. 10746 (OCP12-0010) - City of Kelowna, Miscellaneous Amendments

THIS AGENDA ITEM HAS BEEN WITHDRAWN BY STAFF.

5. Non-Development Reports & Related Bylaws

- 5.1 Okanagan Car Share Co-Op Parking Spaces 135 - 139

To allow the use of three City owned parking spaces at no charge by Okanagan Car Share Co-op for a period of one year.

- 5.2 Library Parkade Expansion, Ellis Parkade Project Update 140 - 143

To provide Council with an update on scope and funding requirements of the downtown parkade projects.

6. Resolutions

- 6.1 Draft Resolution, Cancellation of the May 7, 2013 Public Hearing and Regular Meeting 144 - 144

To cancel the May 7, 2013 Public Hearing and Regular Meeting.

7. Bylaws for Adoption (Non-Development Related)

- 7.1 Bylaw No. 10824 - Sterile Insect Release Program Parcel Tax Bylaw 2013 145 - 159

To consider adoption of Bylaw No. 10824, being Sterile Insect Release Program Parcel Tax Bylaw 2013.

- 7.2 Bylaw No. 10842 - Road Closure and Removal of Highway Dedication - Portion of Land West of 4753 Gordon Drive 160 - 162

Mayor to invite anyone in the public gallery who deems themselves affected by the proposed road closure to come forward.

To consider adoption of Bylaw No. 10842 being Road Closure and Removal of Highway Dedication - Portion of Land West of 4753 Gordon Drive.

8. Mayor and Councillor Items

9. Termination



City of Kelowna Regular Council Meeting Minutes

Date: Monday, April 22, 2013
Location: Council Chamber
City Hall, 1435 Water Street

Council Members Present: Mayor Walter Gray and Councillors Colin Basran*, Maxine DeHart, Gail Given, Robert Hobson, Mohini Singh, Luke Stack and Gerry Zimmermann

Council Members Absent: Councillor Andre Blanleil

Staff Present: City Manager, Ron Mattiussi; City Clerk, Stephen Fleming; Manager, Urban Land Use, Danielle Noble*; Manager, Environment & Land Use, Todd Cashin*; Planner, Greg Saur*; Manager, Cultural Services, Sandra Kochan*; Director, Financial Services, Keith Grayston*; Manager, Financial Planning, Genelle Davidson*; Revenue Manager, George King*; Community Planning Manager, Theresa Eichler*; Manager, Long Range Planning, Gary Stephen*; Planner Specialist, Graham March*; and Council Recording Secretary, Sandi Horning

(*denotes partial attendance)

1. Call to Order

Mayor Gray called the meeting to order at 1:34 p.m.

Mayor Gray advised that the meeting is open to the public and all representations to Council form part of the public record. A live audio feed is being broadcast and recorded by CastaNet and a delayed broadcast is shown on Shaw Cable.

2. Confirmation of Minutes

Moved By: Councillor Zimmermann/Seconded By: Councillor DeHart

R279/13/04/22 THAT the Minutes of the Regular PM Meeting of April 15, 2013 be confirmed as circulated.

Carried

3. Public in Attendance

3.1. Jennifer Crosby, Board President, BC Water and Waste Association - Drinking Water Week and the Community Water Challenge

Jennifer Crosby, Board President, BC Water and Waste Association:

- Provided Council with information regarding Drinking Water Week (May 20-26, 2013) and the Community Water Challenge.

Councillor Basran joined the meeting at 1:39 p.m.

3.2. Peter Rotheisler, Manager of Environmental Services, Regional District of Central Okanagan - Waste Reduction and Other Regional Environmental Services

Peter Rotheisler, Manager of Environmental Services, Regional District of Central Okanagan:

- Displayed a PowerPoint Presentation and responded to questions from Council.

3.3. Lesley Moore, Executive Director, Kelowna Museums - Annual Report

Staff:

- Introduced the presentation.

Lesley Moore, Executive Director, Kelowna Museums:

- Displayed a PowerPoint Presentation and responded to questions from Council.

3.4. Cheryl Miller, Executive Director, Central Okanagan Foundation - Community Grant Programs, Grant Committee Recommendations

Staff:

- Introduced the Report from the Central Okanagan Foundation.

Cheryl Miller, Grants Manager, Community Grant Programs, Central Okanagan Foundation:

- Provided an overview of the 2013 recommended grants and responded to questions from Council.

Moved By: Councillor Hobson/Seconded By: Councillor Singh

R280/13/04/22 THAT Council approves the grants recommended in the April 14, 2013 report from the Central Okanagan Foundation for the distribution of the Community Social Development grants, and Grants to Address the Sexual Exploitation of Youth, as provided in the April 14th, 2013 report from the Community Planning Manager;

Carried

4. Development Application Reports & Related Bylaws

4.1. Agricultural Land Reserve Appeal Application No. A13-0004 - Manraj and Jeetender Kandola, 982 Old Vernon Road

Staff:

- Confirmed that the staff recommendation is for non-support and the staff alternate recommendation is for support.
- Provided the rationale for staff's non-support of the application.
- Confirmed that an addendum to the Consultant's Report was received which acknowledges the correctness of the staff report.
- Displayed mapping from the City map viewer showing various aspects of the subject properties.
- Confirmed that the sawmill operation did not exist on this parcel prior to the establishment of the Agricultural Land Reserve.
- Confirmed that the property is outside of the City's Permanent Growth Boundary.
- Responded to questions from Council.

Mayor Gray invited the Applicant, or Applicant's Representative, to come forward.

Manraj and Jeetender Kandola, Applicants:

- Spoke to reasons for purchasing the property. They purchased the property with the full intent of operating a sawmill on the site, however, that operation is no longer financially viable.
- Spoke to their misunderstanding of the legislated timelines for a discontinued, non-conforming use.
- Spoke to the high cost to remediate the property for agricultural purposes.
- Advised that the property is located within a 'frost pocket'.
- Responded to questions from Council.
- Advised that they have not spoken with Agricultural Land Commission staff regarding specific options for the property as they were advised by Martin Collins that they should wait and see what Kelowna City Council has to say.
- Advised that they have collected twenty-one signatures in support of the exclusion of the site from the Agricultural Land Reserve.

Matt Davidson, Agrologist, Applicants' Representative:

- Spoke to specifics of soil classifications and frost pockets.
- Responded to questions from Council.

Grant Maddock, Protech Consultants Ltd., Applicants' Representative:

- Responded to questions from Council.
- Confirmed that Black Mountain Irrigation District supplies water to the residence on the site and that site is also irrigated.
- Confirmed that the site could be fully serviced.

Council:

- Inquired of staff whether some solution could be reached between the City, the Applicants, and the Agricultural Land Commission that would keep the property within the Agricultural Land Reserve.

Moved By: Councillor Hobson/Seconded By: Councillor Zimmermann

R281/13/04/22 THAT Council defers consideration of Agricultural Land Reserve Appeal Application No. A13-0004 with respect to the property located at 982 Old Vernon Road;

AND THAT Council directs staff to work with the Applicants and the Agricultural Land Commission in order to determine viable options for keeping the subject property within the Agricultural Land Reserve and report back to Council.

Carried

4.2. Official Community Plan Bylaw Amendment Application No. OCP13-0006 and Rezoning Application No. Z13-0007 - Northern Lights Land Development Corporation, 3503 Lakeshore Road, 602, 610, 620, 630 & 640 Swordy Road, and 3510 Landie Road

Staff:

- Advised that the Applicant has a verbal agreement to purchase additional property located at 3505 Lakeshore Road that would be added to the lands that are the subject of this application.
- Staff recommends that Council consider the staff report and associated Bylaws today. A supplemental report and bylaw amendment adding the additional property will come forward to Council at a later date should Council advance the application.

Moved By: Councillor Hobson/Seconded By: Councillor Basran

R282/13/04/22 THAT Official Community Plan Bylaw Amendment No. OCP13-0006 to amend Map 19.1 of the Kelowna 2030 - Official Community Plan Bylaw No. 10500 by changing the Future Land Use designation of Lot 1, D.L. 134, ODYD, Plan 17308, located at 3510 Landie Road from Single / Two Unit Residential to Multiple Unit Residential - Low Density, as shown on Map "A" attached to the report of the Land Use Management Department dated April 5th, 2013, be considered by Council;

AND THAT Council considers public consultation in accordance with Policy No. 367 to be appropriate consultation for the purpose of Section 879 of the Local Government Act, as outlined in the report of the Land Use Management Department dated April 5th, 2013;

AND THAT Rezoning Application No. Z13-0007 to amend the City of Kelowna Zoning Bylaw No. 8000 by changing the zoning classification of Lot 2, D.L. 134, ODYD, Plan 3232, located at 3503 Lakeshore Road, Lot 1, D.L. 134, ODYD, Plan 3232, located at 602 Swordy Road, Lot 3, D.L. 134, ODYD, Plan 3232, located at 610 Swordy Road, Lot 4, D.L. 134, ODYD, Plan 3232, located at 620 Swordy Road, Lot 5, D.L. 134, ODYD, Plan 3232, located at 630 Swordy Road, Lot 6, D.L. 134, ODYD, Plan 3232, located at 640 Swordy Road, Lot 1, D.L. 134, ODYD, Plan 17308, located at 3510 Landie Road from RU6 - Two Dwelling Housing to RM3 - Low Density Multiple Housing be considered by Council;

AND THAT final adoption of the Zone Amending Bylaw be considered in conjunction with Council's consideration of a Development Permit and Development Variance Permit for the subject properties;

AND THAT final adoption of the Zone Amending Bylaw be considered subsequent to the requirements of the Development Engineering Branch being completed to their satisfaction;

AND FURTHER THAT final adoption of the Zone Amending Bylaw be considered subsequent to the registration of a plan of subdivision to consolidate the properties.

Carried

4.2.1. Bylaw No. 10843 (OCP13-0006) - Northern Lights Land Development Corporation, 3510 Landie Road

Moved By: Councillor DeHart/Seconded By: Councillor Zimmermann

R283/13/04/22 THAT Bylaw No. 10843 be read a first time;

AND THAT the Bylaw has been considered in conjunction with the City's Financial Plan and Waste Management Plan.

Carried

4.2.2. Bylaw No. 10844 (Z13-0007) - Northern Lights Development Corporation, 3503 Lakeshore Road, 602, 620, 630 and 640 Swordy Road and 3510 Landie Road

Moved By: Councillor Given/Seconded By: Councillor Stack

R284/13/04/22 THAT Bylaw No. 10844 be read a first time.

Carried

4.3. Official Community Plan Bylaw Amendment Application No. OCP11-0012 and Rezoning Application No. Z11-0027, Extension Request - IHS Designs, 964-968 Borden Avenue

Moved By: Councillor Stack/Seconded By: Councillor Hobson

R285/13/04/22 THAT in accordance with Development Application Procedures Bylaw No. 10540, the deadline for the adoption of Amending Bylaw Nos. 10626 (OCP11-0012) and 10627 (Z11-0027), Lot 2, District Lot 138, ODYD, Plan 3182, located at 964-968 Borden Avenue, Kelowna, BC, be extended from November 15, 2012 to November 15, 2013.

Carried

5. Non-Development Reports & Related Bylaws

5.1. Aquatic Habitat Inventory

Staff:

- Displayed a PowerPoint Presentation and responded to questions from Council.

Moved By: Councillor Given/Seconded By: Councillor Hobson

R286/13/04/22 THAT Council receives, for information, the Report from the Manager Environment and Land Use dated March 18, 2013, with respect to Aquatic Habitat Inventory.

Carried

5.2. 2012 Development Statistics Report

Staff:

- Provided an overview of the 2012 Development Statistics and responded to questions from Council.

Moved By: Councillor Stack/Seconded By: Councillor Basran

R287/13/04/22 THAT Council receives, for information the Report of the Planner Specialist, dated April 9, 2013, with respect to the 2012 Development Statistics Report.

Carried

5.3. Investment of City of Kelowna Funds for 2012

Staff:

- Provided a summary of the City of Kelowna's 2012 investment of surplus funds, activity and performance.

Moved By: Councillor Singh/Seconded By: Councillor DeHart

R288/13/04/22 THAT Council receives, for information, the Report from the Financial Planning Manager dated April 12, 2013 with respect to Investment of City of Kelowna Funds for 2012.

Carried

5.4. 2013 Sterile Insect Release (SIR) parcel tax

Moved By: Councillor Basran/Seconded By: Councillor Zimmermann

R289/13/04/22 THAT Council considers the Sterile Insect Release Program Parcel Tax Bylaw No. 10824 charging the 2013 Sterile Insect Release (SIR) Parcel Tax to individual property tax rolls in accordance with the 2013 SIR Parcel Tax Assessment Roll provided to the City of Kelowna by the Regional District of North Okanagan.

Carried

5.4.1. Bylaw No. 10824 - Sterile Insect Release Program Parcel Tax Bylaw 2013

Moved By: Councillor Singh/Seconded By: Councillor Hobson

R290/13/04/22 THAT Bylaw No. 10824 be read a first, second and third time.

Carried

5.5. 2013 Tax Distribution Policy

Staff:

- Displayed a PowerPoint presentation and responded to questions from Council.

Moved By: Councillor Stack/Seconded By: Councillor Given

R291/13/04/22 THAT Council approves a Municipal Tax Distribution Policy as outlined in the Report of the Revenue Manager dated April 17, 2013, for the year 2013 that will result in a modification of the 2012 Tax Class Ratios to reflect the uneven market value changes which have been experienced between property classes, as follows:

<u>Property Class</u>	<u>Description</u>	<u>2013 Tax Class Ratios</u>	<u>2012 Tax Class Ratios</u>
01/08/03	Residential/Rec/NP/SH	1.0000:1	1.0000:1
02	Utilities	5.0475:1	5.3811:1
04	Major Industrial	3.0391:1	3.1155:1
05/06	Light Industrial/Business/Other	2.0822:1	2.1905:1
09	Farm Land	0.1279:1	0.1363:1
91	Farm Improvements	0.5034:1	0.5003:1

AND THAT Council approves development of 2013 tax rates to reflect the 2013 assessment changes in property market values.

Carried

6. Bylaws for Adoption (Non-Development Related)

6.1. Bylaw No. 10835 - Amendment No. 1 to the Five Year Financial Plan 2012-2016 BL10688

Moved By: Councillor Hobson/Seconded By: Councillor DeHart

R292/13/04/22 THAT Bylaw No. 10835, being Amendment No. 1 to the Five Year Financial Plan 2012-2016 Bylaw No. 10688 be adopted.

Carried

7. Mayor and Councillor Items

Councillor Given:

- Wished everyone 'Happy Earth' Day.
- Advised that she will be attending the Provincial Conference of School Trustees being held in Kelowna later this week to offer opening remarks on behalf of the Mayor.
- Raised concern regarding fading road lines on Highway 33 and Rutland Road.

City Manager:

- Advised that the road lines on Rutland Road will be repainted in May as the paint used requires a minimum temperature of 5° Celsius for the paint to dry.
- Advised that he will pass along concerns regarding Highway 33 to the Ministry of Transportation.

Councillors Stack:

- Commented on his attendance at the 'Save Your Neighbourhood' event in the North End.
- Commented on this attendance at the recent Okanagan Symphony Orchestra performance.

Councillor DeHart:

- Commented on her attendance at the 2012 United Way event in which the City was awarded the 2012 Quantum Leap Giving Award.
- Reminded everyone that May 1, 2013 is the 38th Annual Civic & Community Awards at the Kelowna Community Theatre.

Councillor Singh:

- Noted that the 3rd Annual Vaisakhi Parade will take place on Saturday, April 27, 2013 from 11:30 a.m. to 4:00 p.m.

Councillor Hobson:

- Provided comment regarding the joint Oogrow Committee. Advised that a proposed new watering system will further reduce the number of complaints. Advised that a significant portion of the costs are recovered by the sale of the end product.

Mayor Gray:

- Advised that this week is 'Volunteer Week'.
- Commented on the 'Airwick' award that was presented to the City.
- Commented on the Mayors' challenge with the City of Kamloops regarding the Kelowna Rockets and the Kamloops Blazers.

7.1. Mayor Gray, re: Regional District of Central Okanagan, City of Kelowna Representation

Moved By: Councillor Hobson/Seconded By: Councillor DeHart

R293/13/04/22 THAT Council rescinds the appointment of Councillor Blanleil as a Director to the Regional District of Central Okanagan's Board of Directors effective May 1, 2013;

AND THAT Council rescinds the appointment of Councillor Stack as first alternate to the Regional District of Central Okanagan's Board of Directors effective May 1, 2013;

AND THAT Council rescinds the appointment of Councillor DeHart as second alternate to the Regional District of Central Okanagan's Board of Directors effective May 1, 2013;

AND THAT Council rescinds the appointment of Councillor Singh as third alternate to the Regional District of Central Okanagan's Board of Directors effective May 1, 2013;

AND THAT Council appoints Councillor Stack as a Director to the Regional District of Central Okanagan's Board of Directors effective May 1, 2013;

AND THAT Council appoints Councillor DeHart as the first alternate to the Regional District of Central Okanagan's Board of Directors effective May 1, 2013;

AND THAT Council appoints Councillor Singh as the second alternate to the Regional District of Central Okanagan's Board of Directors effective May 1, 2013;

AND FURTHER THAT Council appoints Councillor Blanleil as the third alternate to the Regional District of Central Okanagan's Board of Directors effective May 1, 2013.

Carried

8. Termination

This meeting was declared terminated at 4:58 p.m.

Mayor

/slh



City Clerk

REPORT TO COUNCIL



Date: April 11, 2013
RIM No. 1240-04
To: City Manager
From: Land Use Management, Community Sustainability (BD)
Application: HD13-0001 **Owner:** 0874309 B.C. Ltd., Inc No. BC874309
Address: 784 Elliot Avenue **Applicant:** Jackie Gorton
Subject: Heritage Designation

1.0 Recommendation

THAT City Council consider designation of the building located at Lot 3, District Lot 138, ODYD Plan 9360, 784 Elliot Avenue, Kelowna, B.C., commonly known as the “Copeland House” as a Municipal Heritage Site to Section 967 of the Local Government Act;

AND FURTHER THAT the Heritage designation Bylaw be forwarded to a Public Hearing for further consideration.

2.0 Purpose

To designate “Copeland House” as a municipal heritage building under Section 967 of the Local Government Act.

3.0 Land Use Management

The building is currently listed on the Municipal Heritage Register and is seeking protection through the Heritage Revitalization Agreement pursuant to Section 966 of the *Local Government Act*. The applicant is committed to having the ‘Copeland House’ designated under Section 967 of the *Local Government Act* as a municipal building to ensure additional long-term protection for the structure. Staff fully endorse the preservation of City’s heritage assets to ensure the longevity of historically important sites.

4.0 Heritage Designation Bylaw Background Information:

The owners of the subject property have voluntarily requested that “Copeland House” be designated as a municipal heritage site and be called “the Copeland House”. The house is currently located on the Heritage Register which identifies it as having heritage significance; however the registry provides very limited protection.

Once a property is designated, the owner must obtain a Heritage Alteration Permit to make alterations to the building exterior thereby protecting the heritage integrity. The City

acknowledges that some changes to a protected heritage property are inevitable and a flexible approach is required when implementing reasonable and necessary changes while maintaining and protecting the building's noteworthy heritage characteristics.

4.1 Heritage Value and Heritage Character:

The house has value for its association with Robert Andrew (Bob) Copeland (1864-1955), married to Jane (Belle) Copeland, who built the house when he came to Kelowna in the spring of 1907. He had previously operated a hotel in Grenfell, Saskatchewan, for twenty years. He had served as an auxiliary in the Northwest Rebellion, part of the 'Grenfell Connection.' Copeland became a director of the Central Okanagan Land Company and served as an alderman from 1911 to 1916. Copeland Place was named for him. (767 Copeland Place was originally the barn and 789 Copeland Place the ice house formerly associated with the historic place).

In 1917 the Copeland's left Kelowna and took up farming in the Lumby district. Bob was president of the United Farmers of British Columbia from 1919 to 1921. In 1942, the Copeland's sold the farm and returned to retirement in Kelowna.

The historic place also has value for changing its use with changes in the neighbourhood. It was apparently still a single residence in 1938, owned by W.R. Miller. In 1941 it was listed as a rooming house, owned by Jacob Vohl. During the acute housing shortage of WWII in 1942, owner Ethel Yegl (later Mrs. Ethel Bryan) remodelled it as eight apartments, with two rooms each. "Elliot Apartments" went through a series of at least fifteen owners between 1940 and 1965.

The house is a good example of a Foursquare, with its square (or nearly square) plan and the medium-pitched hipped roof. The type is clearly legible, although its external details have been considerably modified over the years.

Character defining elements:

- Good example of a foursquare form with a medium- pitch hipped roof
- Symmetrical fenestration, double-hung, wood sash windows
- Mature landscaping around perimeter of the property
- Uniform stucco finish

4.2 Compatibility with the Official Community Plan and planning objectives:

The Heritage Designation of the "Copeland House" is compatible with the policy direction of the Official Community Plan which promotes the conservation of heritage buildings listed in the Kelowna Heritage Register. Specifically, the Official Community Plan Objective 9.2 seeks to identify and conserve heritage resources. By designating a site, the longevity of the heritage asset is maintained.

4.3 Compatibility of Conservation with Lawful Uses of the Property and Adjoining Lands:

The proposal is consistent with the designation as a residential property, however is not consistent with the single/two residential uses found in the area. The property is zoned RU6 - Two Dwelling housing which only permits 2 units per site. It is noteworthy that the land use of the area was established relatively recently, and the subject property has been used as apartments since the 1940's. The use of the property as a multi-unit residential building is seeking formalization through a Heritage Revitalization Agreement that is being considered by Council concurrent to this application.

4.4 Condition and Economic Viability of the Property:

The Kelowna Heritage Register indicates a number of elements have been added to the building. The building and grounds are currently undergoing restoration to bring the building back to a state worthy of designation. Once the restoration is complete, the units in the building will be rented.

4.5 Possible Need for Financial or Other Support to Enable Appropriate Conservation:

The applicant intends to apply for the City’s Heritage Tax Incentive Program if the accompanying Heritage Revitalization Agreement is approved by Council. The building, however, will be completely rehabilitated negating the need for major financial assistance in the near future.

5.0 Application Chronology

Date of Application Received: April 10, 2013

Community Heritage Commission

The above noted application was reviewed by the Community Heritage Commission at the meeting on January 10, 2013 and the following recommendations were passed:

THAT the Community Heritage Committee supports the proposal under the Heritage Revitalization Agreement HRA12-0001 including variances, for 784 Elliot Avenue;

AND THAT further consideration be given to restoring the verandah to an increased width from the front elevation so as to visually better represent the original condition;

AND FURTHER THAT consideration also be given to modifying the roof access structure to lessen its visual impact on the widow's walk.

ANECTODAL COMMENT:

CHC recognized that what is now the front of the building was originally the back of the building and that there is an exchange of authenticity for restoration of architectural character.

Designating a building provides a higher level of protection to Heritage properties. Given the investment the applicant is making in restoring the building, it is appropriate that the CHC would support a designation, although not captured in the meeting minutes.

Report prepared by:

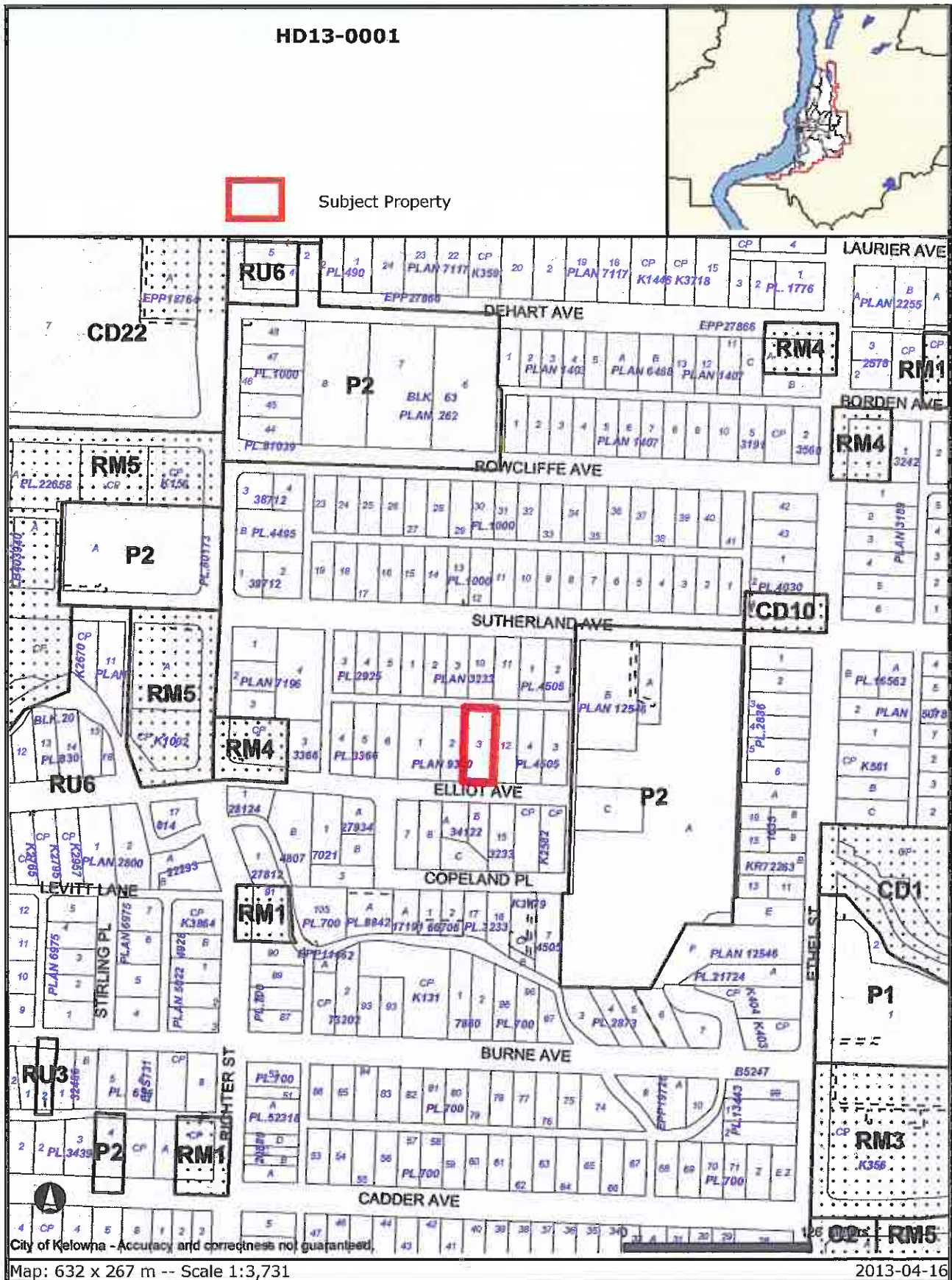
Birte Decloux, Land Use Planner

Reviewed by: Danielle Noble, Manager, Urban Land Use

Approved for Inclusion: Doug Gilchrist, Acting General Manager, Community Sustainability for the Director, Land Use Management

Attachments:

- Site Plan
- Statement of Significance



Certain layers such as lots, zoning and dp areas are updated bi-weekly. This map is for general information only.
 The City of Kelowna does not guarantee its accuracy. All information should be verified.



[New Search](#)

Heritage Building

784 Elliot Ave - Copeland House/Elliott Apartments

Place Description: The historic place is the two-and-one-half-storey, wood-frame Copeland House (Elliot Apartments) at 784 Elliot Avenue.

Heritage Value: The heritage value of the Copeland House/Elliott Apartments is due in part to its association with Robert Andrew Copeland, who was active as an early land developer and Kelowna alderman; and for the transition of the building from a family home to a rooming house, and then to apartment units, as inner-city population densification occurred. It also has architectural value as a good example of a foursquare house.

The house has value for its association with Robert Andrew (Bob) Copeland (1864-1955), married to Jane (Belle) Copeland, who built the house when he came to Kelowna in the spring of 1907. He had previously operated a hotel in Grenfell, Saskatchewan, for twenty years. He had served as an auxiliary in the Northwest Rebellion, part of the 'Grenfell Connection.' Copeland became a director of the Central Okanagan Land Company and served as an alderman from 1911 to 1916. Copeland Place was named for him. (767 Copeland Place was originally the barn and 789 Copeland Place the ice house formerly associated with the historic place).

In 1917 the Copelands left Kelowna and took up farming in the Lumby district. Bob was president of the United Farmers of British Columbia from 1919 to 1921. In 1942 the Copelands sold the farm and returned to retirement in Kelowna.

The historic place also has value for changing its use with changes in the neighbourhood. It was apparently still a single residence in 1938, owned by W.R. Miller. In 1941 it was listed as a rooming house, owned by Jacob Vohl. During the acute housing shortage of WWII, in 1942, owner Ethel Yegl (later Mrs. Ethel Bryan) remodeled it as eight apartments, with two rooms each. "Elliott Apartments" went through a series of at least fifteen owners between 1940 and 1965.

The house is a good example of a Foursquare, with its square (or nearly square) plan and the medium-pitched hipped roof. The type is clearly legible, although its external details have been considerably modified over the years.

Character - Location on Elliot Avenue in Kelowna's South Central neighbourhood

Defining - Residential form, scale and massing, expressed by two-storey height (plus basement) and squarish plan

Elements: - Medium-pitch hipped roof

- Half-hip roof protecting entrance door and porch

- Symmetrical fenestration, with 1-over-1, double-hung, wood sash windows, with plain and decorative wide wood trim, some of which may be more recent in application (the later metal-sash windows are not character-defining elements)

- Painted wood, diamond-shaped symbols applied to the front elevation on both levels

- Uniform off-white painted stucco

- Mature landscaping around the perimeter of the property, with a private front lawn



CITY OF KELOWNA

BYLAW NO. 10841

Copeland House Heritage Designation Bylaw

WHEREAS the Municipal Council of the City of Kelowna considers the building known as the “Copeland House” located at 784 Elliot Avenue, Kelowna, B.C. to be a building with heritage value and that the designation of the building as a heritage site pursuant to Section 967 of the *Local Government Act* is desirable for the conservation of the building;

NOW THEREFORE, the Municipal Council of the City of Kelowna, in open meeting assembled, enacts as follows:

1. The building and land known as the ‘Copeland House’ situated on lands legally described as Lot 3, District Lot 138, ODYD, Plan 9360 on Elliot Avenue, Kelowna B.C. to be commonly known in the future as the “Copeland House” is hereby designated a Municipal Heritage Site pursuant to Section 967 of the *Local Government Act*.
2. Except as authorized by this bylaw or as authorized by a Heritage Alteration Agreement approved by Council, no person shall:
 - (a) alter the exterior of any building situated on the property designated by this bylaw;
 - (b) make a structural change to a building or structure situated on property designated by this bylaw;
 - (c) move any building situated on the property designated by this bylaw; or
 - (d) alter, excavate or build on land designated by this bylaw.
3. The following alterations to the designated property are hereby authorized without a Heritage Alteration Permit:
 - (a) Normal day to day maintenance and repairs.
4. This bylaw may be cited for all purposes as the 'Heritage Designation Bylaw No. 10841 (Copeland House)'.

Read a first time by the Municipal Council this

Considered at a Public Hearing this

Read a second and third time and adopted by the Municipal Council this

Mayor

City Clerk

REPORT TO COUNCIL



Date: April 3, 2013
RIM No. 1240-30
To: City Manager
From: Land Use Management, Community Sustainability (BD)
Application: HRA12-0001 **Owner:** 0874309 B.C. Ltd., Inc No. BC874309
Address: 784 Elliot Avenue **Applicant:** Jackie Gorton
Subject: Heritage Revitalization Agreement
Existing OCP Designation: Single/Two Residential
Existing Zone: RU6 - Two Dwelling Housing

1.0 Recommendation

THAT Council consider a bylaw which would authorize the City of Kelowna to enter into a Heritage Revitalization Agreement for the property legally known as Lot 3, District Lot 138, ODYD Plan 9360 located on 784 Elliot Avenue, Kelowna, BC, in the form attached as Schedule "A" to the Report from the Land Use Management Department dated April 3, 2013;

AND THAT the Heritage Revitalization Agreement Authorization Bylaw be forwarded to a Public Hearing for further consideration;

AND THAT final adoption of the Heritage Revitalization Agreement Authorization be considered subsequent to the requirements of the Development Engineering Branch being completed to their satisfaction;

AND FURTHER THAT the applicant be required to post a Landscape Performance Security bond with the City in the form of a "Letter of Credit" or cash in the amount of 125% of the estimated value of the landscaping, as determined by a professional landscaper.

2.0 Purpose

This application proposes to restore the heritage house located at 784 Elliot Avenue through the mechanism of a Heritage Revitalization Agreement (HRA). The building on the site currently has 10 existing non-conforming suites. With the HRA, the applicant is proposing to reconfigure the interior of the building to construct 6 suites. In phase two of the plan, a building addition to contain 3 suites is proposed.

3.0 Land Use Management

The OCP supports the use of Heritage Revitalization Agreements as a means of facilitating the adaptive re-use and continuing protection of heritage buildings. The proposal is compatible with the City of Kelowna's Adaptive Re-use Guidelines for Residential Heritage Buildings. The subject property is included in the Heritage Register and through the HRA the applicant is seeking to formalize the existing non-conforming use.

The proposal seeks to rehabilitate the existing heritage building in two phases. The first phase seeks to bring the building back to a state that meets the life and safety standards of the BC Building Code. Exterior repairs including roof, windows, removing metal decorative features and bringing the building back to its original form. Phase two includes the addition of a front verandah and three units in a new building addition to the rear of the site.

The "Heritage Re-adaptive Use Guidelines" are met in the following areas:

- restoration plans respect the heritage character of the building;
- removal of the embellishments which have been constructed on and around the building to bring the building back to its original form;
- reduction of the number of residential units within the heritage building;
- signatures of support were received from neighbours;
- no other adaptive re-use exists in the neighbourhood;
- signage is modest in size and is only proposed to identify the building;
- the proposed addition in phase 2 respects the scale of the existing building and will not be visible from the street;
- no additional screening is proposed. Mature trees located along the east property line have been pruned to ensure their longevity and the existing fencing will be repaired.
- a new Victorian/Edwardian landscape is planned.

The Guidelines are not met in the following areas:

- parking regulations

In order to facilitate the proposal, the applicant is seeking the following variances within the HRA framework:

Phase 1

- A reduction in the parking stalls provided from 9 spaces required to 7 spaces proposed.

Phase 2

- To reduce the rear yard set back for the proposed addition from 7.5m required to 2.3m proposed;
- To legalize the resulting non-conforming side yard for the existing building to accommodate the addition;
- To reduce the drive aisle width from 7.0m required to 6.0 m proposed;
- To reduce in the total number of parking spaces provided from 13 spaces required to 10 spaces provided;
- To increase the allowable percentage of small parking spaces from 40% to 70% proposed.

The significant extent of the restoration is a positive investment in this heritage asset and the variances and phase two addition are a fair trade-off to ensure the longevity of this building. The request to legitimize the west side yard from 2.3m to 1.6m stems from the fact that this building was constructed prior to current zoning regulations. The parking calculations are based on current Zoning Bylaw requirements and as this is a reuse of a residential site with limited access

and lot size, meeting the requirements is a challenge. Previously, there were more dwelling units with less parking spaces provided. Changes proposed to the site plan seek to relocate parking access from the front to the rear laneway which is anticipated to have a positive impact on the neighbourhood. A variance is sought to the rear and side yard to accommodate the proposed addition in phase two of the plan which was supported by the neighbours. Staff welcome the quality of the improvements to building and the anticipated impact on the neighbourhood as detailed in the explicit rationale.

4.0 Proposal

4.1 Background

The subject property has had a varied past and the building had become debilitated and run down. Additional illegal living units were added to the basement and the exterior of the building was compromised with extensive metal features. The subject property was purchased by the applicant in the Spring of 2012, who immediately sought building permits for essential repairs to the building. Photo's of the original site and subsequent improvements are attached. When complete the units will be for rent with the intent of attracting tenants that will appreciate the heritage building, the innovative sustainable mechanical upgrades, and the proximity to urban centres and active transportation.

4.2 Project Description

The project includes the complete restoration of the interior and exterior of the heritage building, and the redesign of the landscaping to enhance the unique historical character of the property. This will be accomplished by:

- Removal of the carport;
- Removal of the metal work attached to the fire escape;
- Installation of new wrought iron garden fencing;
- Refurbishment and replacement of soffits and fascia board;
- Installation of new heritage design wood windows;
- Repair to and replacement of roofing;
- Stucco to be sympathetically brushed and cleaned, repaired and painted with Historical Collection colours from Benjamin Moore;
- Updates to lighting fixtures;
- Restoration of original interior staircase;
- Update landscaping with a focus on returning to a simple Victorian Garden, with fruit trees around perimeter;
- Incorporating an addition to the rear of the property containing 3 units. The aim is to allow spacious units in keeping with the needs and facilities of the tenants.

The total restoration of Copeland House will be completed in 2 phases.

Phase 1 will predominantly focus on the reversal of decay within the property and has a strong interior focus with the exception of the necessary roof and stucco repair, and repainting of the building. The plan includes upgrading all internal electrical and plumbing, relocating aerial cables underground, reducing the number of units within the building from 12 (10 legal and 2 illegal) to 6, installing new updated kitchens and bathrooms, and repairing and/or replacing hardwood flooring to main areas. These improvements have been underway for a number of months with all units in the building vacant.

The installation of garden beds, predominantly herbaceous perennials and roses, will occur. A yew hedge will be planted along the south perimeter along the wrought iron fence to provide privacy for tenants in the front garden. The border on both sides of the pathway will be planted with lavender providing sweet scents when approaching the front entrance.

Phase 2 will be completed within 3 - 5 years, and will encompass restoring the original verandah across the front of the building and constructing an addition with three units on the rear of the site. The proposed addition is anticipated to emulate the style and character of the original building with simple lines and a distinct square form. Replacing the vinyl windows with heritage style wood windows is expected to occur throughout both phases. The garden will be further developed as it matures organically into its eventual design. Fencing exists along the east and west perimeter and will be upgraded to rod iron.

4.3 Site Context

The subject property is located on the north side of Elliot Avenue between Richter Street and Ethel Street. The neighbourhood is generally characterized by single detached residential dwellings however, the building is a legal non-conforming containing 10 apartments. Both the Downtown and Capri urban centers are within walking distance of the dwelling. The adjoining neighbourhood zones and uses are:

<i>Direction</i>	<i>Zoning Designation</i>	<i>Land Use</i>
North	RU6 - Two-Dwelling Housing	Residential
East	RU6 - Two-Dwelling Housing	Residential
South	RU6 - Two-Dwelling Housing	Residential
West	RU6 - Two-Dwelling Housing	Residential

4.4 Subject Property: 784 Elliot Avenue



4.5 Zoning Analysis

The proposed application meets the requirements of RU6 - Two Dwelling Housing zone as follows:

Zoning Bylaw No. 8000		
CRITERIA	PROPOSAL	RU6 zone requirements
Subdivision Regulations		
Lot Area	1,055 m ²	400 m ²
Lot Width	21.03 m	13 m
Lot Depth	50 m	30 m
PHASE ONE		
Development Regulations for existing Heritage Building		
Site Coverage (buildings)	16.5 %	40 %
Site Coverage (buildings, driveway and parking)	30.5 %	50 %
Height	13.5m ①	9.5m / 2 ½ storey
Front Yard	16.6 m	4.5 m
Side Yard (west)	1.6 m ②	2.3 m (2 - 2 ½ storey)
Side Yard (east)	7.5 m	2.3 m (2 - 2 ½ storey)
Rear Yard	18.7 m	7.5m (2 - 2 ½ storey)
Other Requirements		
Parking Stalls (#)	Total provided: 7 stalls ③	1 x1 bdrm units, 4 x 2 bdrm units, and 1 bachelor unit Total required: 9 spaces
Bicycle parking	Total provided: 7	Total number of units: 6 Class I: 0.5 per dwelling unit Class II: 0.1 per dwelling unit Total required: 4
PHASE TWO		
Development Regulations for proposed Addition (inclusive of Phase 1)		
Site Coverage (buildings)	27.5 %	40 %
Site Coverage (buildings, driveway and parking)	46.5 %	50 %
Height	9.2m	9.5m / 2 ½ storey
Side Yard (west)	2.4 m	2.3 m (2 - 2 ½ storey)
Side Yard (east)	11 m	2.3m (2 - 2 ½ storey)
Rear Yard	2.3 m ④	7.5m (2 - 2 ½ storey)

PHASE TWO		
Development Regulations for proposed Addition		
Other Requirements		
Parking Stalls (#)	Total provided: 10 stalls ⑤	1 bdrm units: 4 2 bdrm units :4 Bachelor unit: 1 Total required: 13 stalls
Bicycle parking	Total provided: 7	Total number of units: 9 Class I: 0.5 per dwelling unit Class II: 0.1 per dwelling unit Total required: 6
Signage	Meets requirements	Non-illuminated nameplate not exceeding 2.5 sq.ft.

① Variance granted in May 2009 for height of building with widows walk.

② Legal non-conforming side yard set back.

VariANCES Sought:

④ To reduce the rear yard set back for the proposed addition from 7.5m required to 2.3m provided.

③ & ⑤ A reduction in the required parking is sought for both Phase 1 and Phase 2 of the project.

4.6 Heritage Register

Character defining elements:

The accompanying documents provide a good history of the building. Copeland House was a family home to the original builder Robert Andrew Copeland, and his wife Jane, who for 10 years, resided in this traditional Foursquare House. Acting as a Director of the Central Okanagan Land Company and an Alderman of Kelowna from 1911 to 1916, Robert Copeland had previously been an Hotelier in Saskatchewan for 20 years.

Ironically, 100 years later, the applicants have taken over the building who have been Hoteliers for over 20 years. When Bob Copeland moved to Lumby to buy a farm he sold the property to his brother and his wife who raised 14 children in the home. In 1941 Copeland House changed from being a Single Family Home to a rooming house, and became multi family lodging in 1942 when it was redesigned to provide 8 apartments.

With respect to Robert Andrew Copeland, and his commitment to Kelowna in those early days as the city became incorporated, Copeland Place was named after him. 767 Copeland Place was the original barn for Copeland House, and 789 Copeland Place was the ice house.

To honour his achievements the applicant is returning the house back to its original name of “Copeland House”, and the restored Heritage Apartment Building will be known as “Copeland House Heritage Apartments”.

5.0 CURRENT DEVELOPMENT POLICY

5.1 Heritage Policies¹

Objective 9.2 Identify and conserve heritage resources. No character guidelines exist for this property as it is located outside of the conservation areas and unique as a four square architectural style.

5.2 Heritage Conservation Area - Objectives:²

- Encourage new development, additions and renovations to existing development which are compatible with the form and character of the existing context;
- Ensure that change to buildings and streetscapes will be undertaken in ways which offer continuity of the 'sense-of-place' for neighbours, the broader community; and
- Provide historical interest for visitors through context sensitive development.

5.3 Adaptive Re-use Guidelines

After consideration has been given to location, each adaptive re-use proposal must be assessed on its own merits as to whether the proposal would be appropriate within the context of the heritage building, the surrounding neighbourhood and adjacent property characteristics. In this regard, the following factors should be considered:

5.3.1 Neighbourhood Resident Concerns

The concerns of neighbouring property owners should be considered. Identifying and, wherever possible, resolving these issues when developing the terms and conditions specific to an application is important. Applicants are encouraged to discuss their proposed adaptive reuse with neighbouring property owners. *Signatures of support from the surrounding neighbourhood have be supplied.*

5.3.2 Residential Component

A residential component (secondary suite, principal dwelling, etc.) should be provided in conjunction with a non-residential use in order to minimize impacts on the residential character of a neighbourhood. For security purposes, incorporating a residential component is particularly important where a high concentration of adaptive re-uses occurs along a particular block. *The whole project is residential and no commercial or other uses are being considered.*

5.3.3 Concentration of Adaptive Re-Uses

Careful consideration must be given to avoid a concentration of adaptive re-uses in any given area. In this regard, consideration should be given to maintaining the existing neighbourhood character. In addition, consideration should be given to whether or not permitting an adaptive re-use or a concentration of adaptive re-uses would limit the ability to redevelop the area to higher density uses supported in the OCP. *The adaptive re-use is the reconfiguration of the interior units and the addition to the rear of the building in phase two.*

¹ City of Kelowna, Official Community Plan, Chapter 9; Objective 9.2 Policy .4

² City of Kelowna, Official Community Plan, Chapter 16

5.3.4 Design Standards

Any heritage building restorations, renovations or alterations must respect the heritage character of the building and its surrounding area. *As provided in the accompanying documentation the intent of the proposal is to be sustainable and return the building back to its original simple form. The proposed addition for phase two has been kept simple in its form and massing to align with the original four square design. Elements such as the windows, railing from the widows walk, and roof detailing are reflected in the new additional.*

5.3.5 Scale

The size and intensity of the adaptive re-use component should be compatible with the surrounding neighbourhood and able to be readily accommodated within an existing heritage building. The requirements of a specific use, and the available floor area in the existing building, will limit the extent and nature of the adaptive re-use proposal. It is recommended that the number of employees not exceed four non-resident employees at any given time for adaptive re-uses along major roads and two non-resident employees at any given time for adaptive re-uses along local roads. In addition to this, it is recommended that, as a guideline, the non-residential floor area not exceed 85 m² (915 sq. ft.) for adaptive re-uses along major roads and 60 m² (645 sq. ft.) for adaptive re-uses along local roads. *Given that the building has been used as a 10 unit apartment, the proposal to update and reconfigure the interior dwellings and to reduce the overall number of units on the property to 9 is well within the scale of the original density.*

5.3.6 Signage

Signage should be limited to one non-illuminated nameplate not to exceed 2.5 square feet in area and shall be placed within, flat against or hanging from the dwelling unit. Along major roads, signs of this size and dimension may be hung from a free standing post. *Signage is proposed for identification purposes only.*

5.3.7 Parking / Access

Consideration must be given to on-site parking, access and traffic generation associated with adaptive re-use proposals. In order to limit the impact on adjacent properties, the required number of on-site parking spaces should conform to the Parking Schedule of the Zoning Bylaw. *Access to parking is being relocated off the alley to the north of the site. The number of required parking stall is being varied to allow only one stall per suite. It is expected that the central location of the site will allow for alternative modes of transportation and less reliance on the automobile. Incidentally, the site originally provided more units and less parking than is being proposed.*

5.3.8 Hours of Operation

No generation of vehicular traffic or parking of vehicles in excess of that permitted for the zone in which the adaptive re-use is located should be permitted during non-regular working hours. Generally, working hours should be limited to daytime hours, Monday through Friday. *Non-applicable given that the entire building is remaining residential.*

5.3.9 Screening

Screening helps lessen the impact of an adaptive re-use in a residential area. In this regard, outdoor storage and parking areas associated with an adaptive re-use should be well screened with fencing and landscaping which are compatible in design with the heritage building and which form a year round dense screen. *No screening is proposed with the exception of the fencing and mature trees found on the site.*

6.0 Technical Comments

6.1 Building & Permitting Department

- No comment for phase 1.
- Drawings are required for the phase 2 prior to comment (new building). *No comments were provided with the exception of the need for a full plan check review when revised drawings were submitted.*

6.2 Development Engineering Department

See attached.

6.2 Fire Department

No concerns.

6.3 Interior Health Authority

The RCMP have no comments related to this application.

7.0 Application Chronology

Date of Application Received: December 18, 2012
Application Refinement: March 1, 2013

7.1 Community Heritage Commission

The above noted application was reviewed by the Community Heritage Commission at the meeting on January 10, 2013 and the following recommendations were passed:

THAT the Community Heritage Committee supports the proposal under the Heritage Revitalization Agreement HRA12-0001 including variances, for 784 Elliot Avenue;

AND THAT further consideration be given to restoring the verandah to an increased width from the front elevation so as to visually better represent the original condition;

AND FURTHER THAT consideration also be given to modifying the roof access structure to lessen its visual impact on the widow's walk.

ANECTODAL COMMENT:

CHC recognized that what is now the front of the building was originally the back of the building and that there is an exchange of authenticity for restoration of architectural character.

Report prepared by:

Birte Decloux, Land Use Planner

Reviewed by:

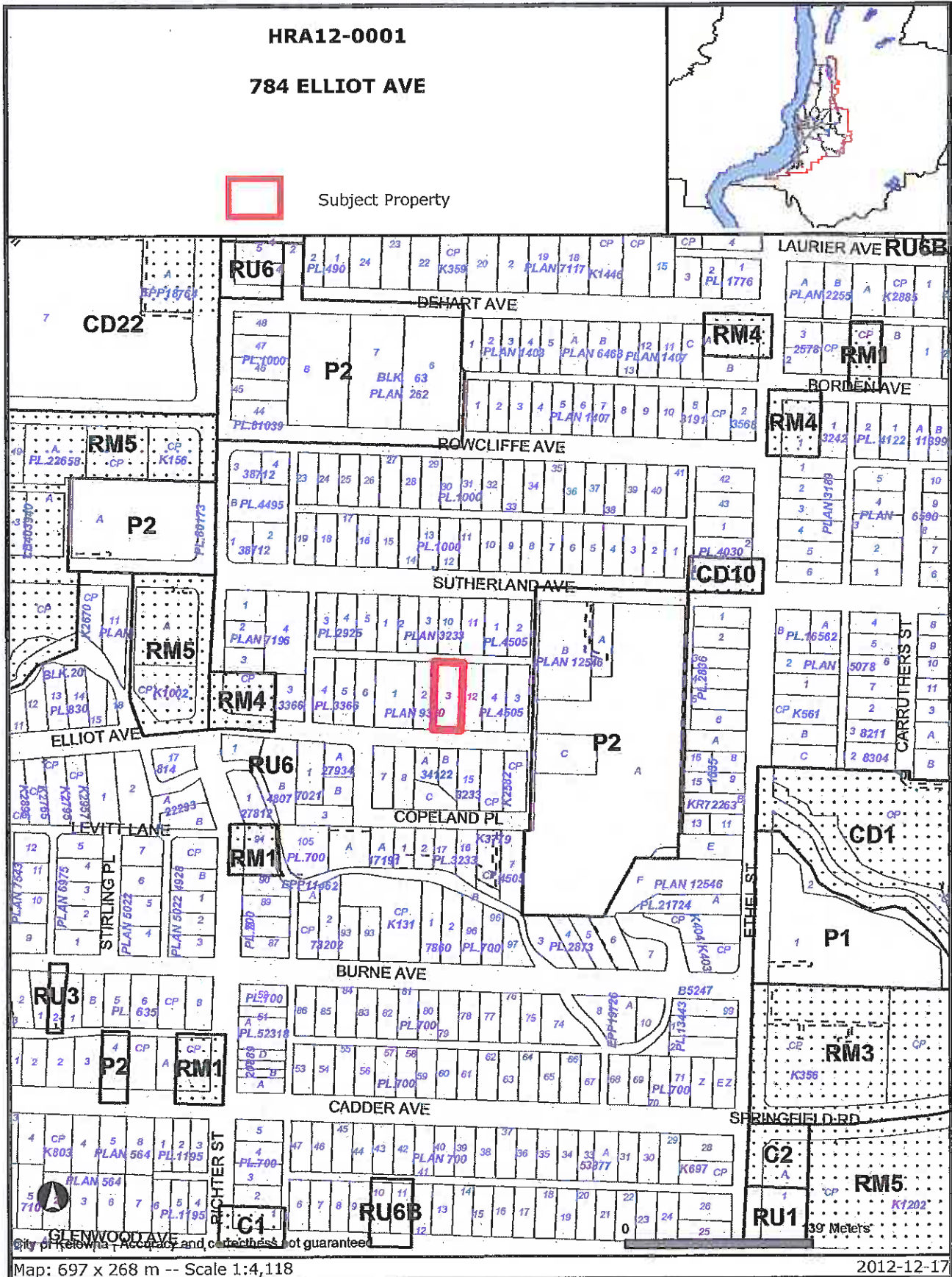
Danielle Noble, Manager, Urban Land Use

Approved for Inclusion:

Doug Gilchrist, Acting General Manager, Community Sustainability

Attachments:

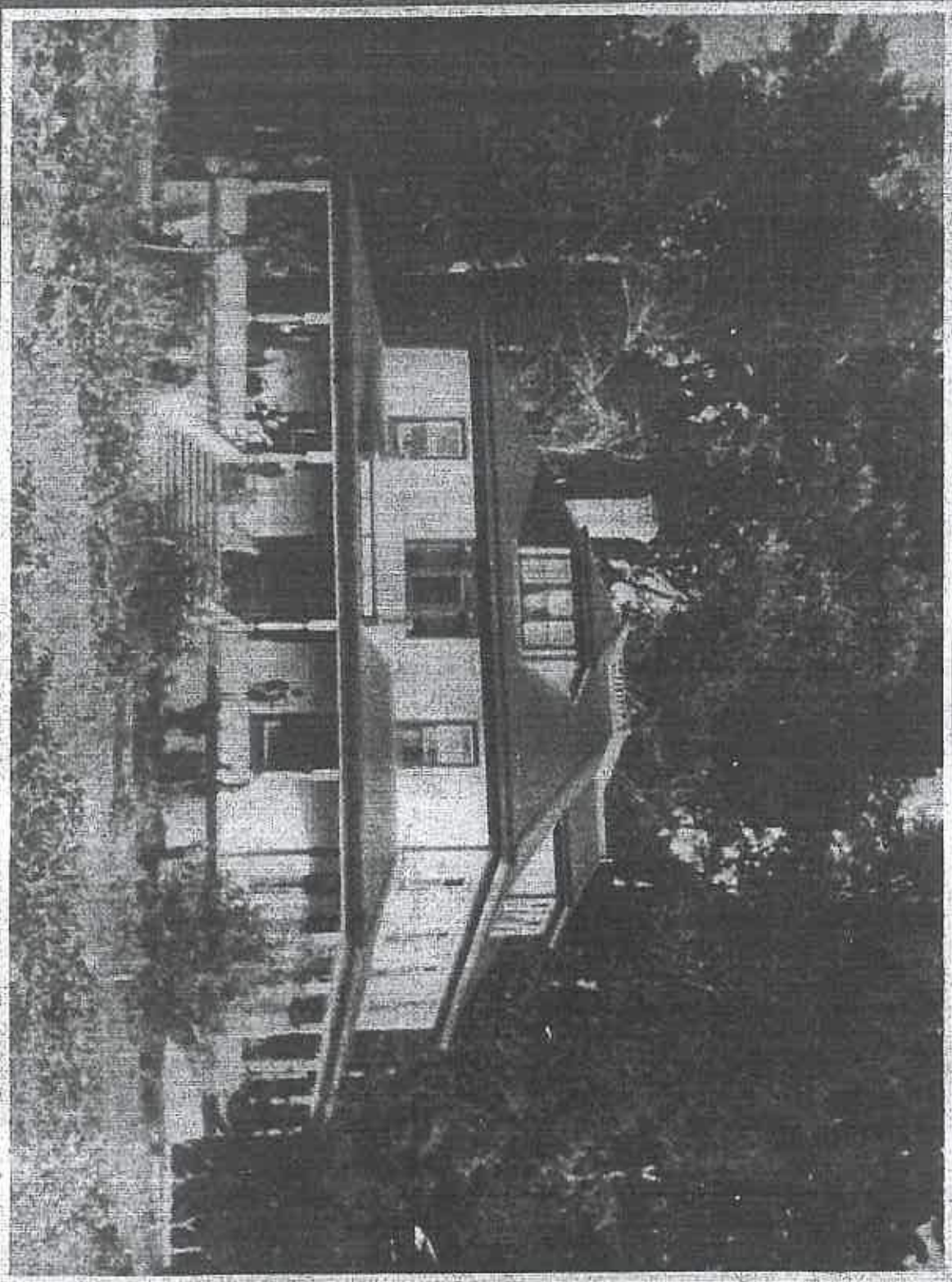
- Historic photos
- Neighbourhood context
- Existing building conditions
- Existing Site Plan
- Elevations - Phase 1
- Interior floor plans - Phase 1
- Photographic refurbishment plan
- Landscape plan - Phase 1
- Colour board
- Site Plan - Phase 2
- Elevations - Phase 2
- Colour Rendering - Phase 2
- Landscape Plan - Phase 2
- Rationale
- Statement of Significance



Certain layers such as lots, zoning and dp areas are updated bi-weekly. This map is for general information only.
 The City of Kelowna does not guarantee its accuracy. All information should be verified.

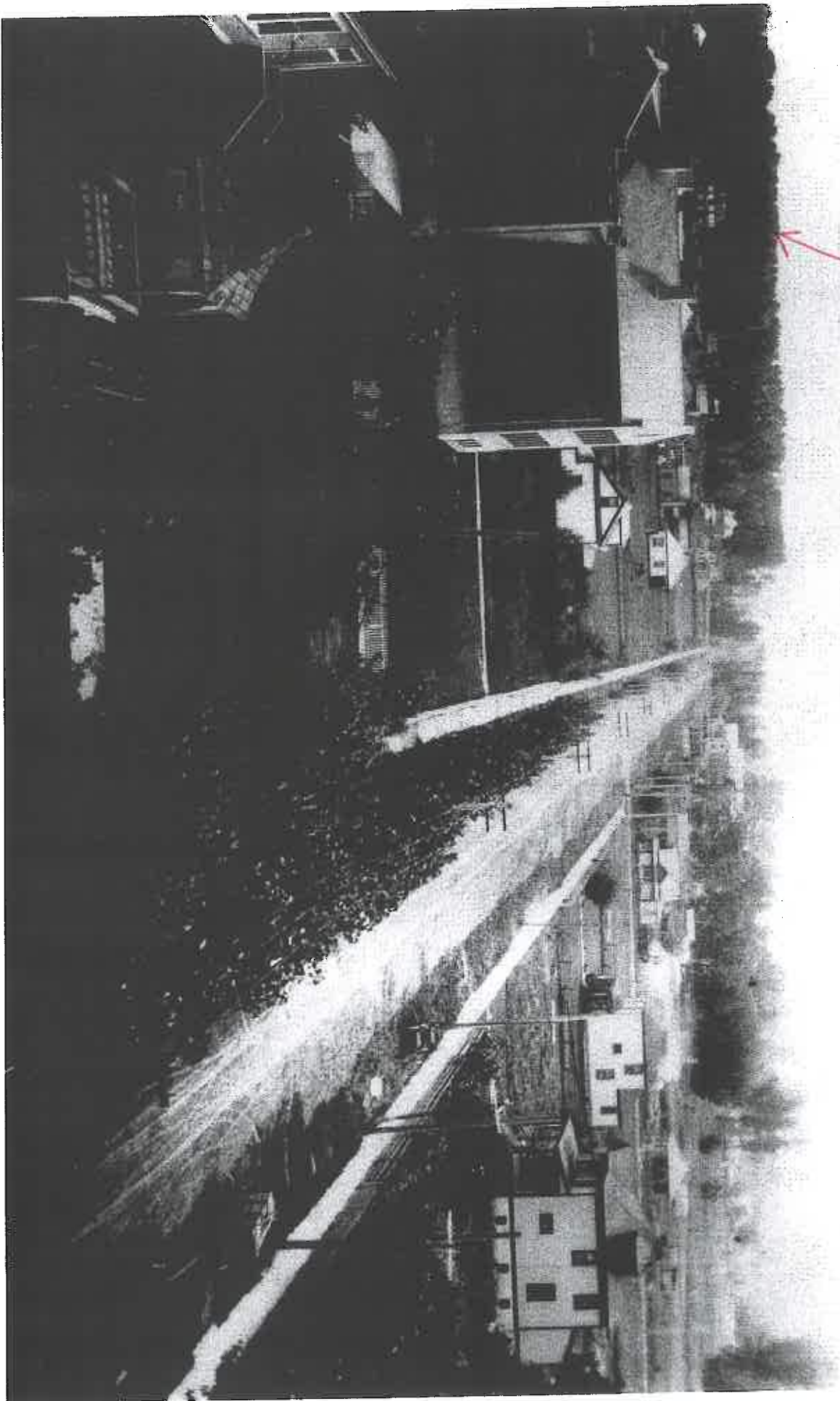
This is the old COPELAND home
now: 784 Belmont Ave. Kelowna, B.C.





Note - original railing around Widows Walk

Richter Street circa 1915



Copeland House

The Neighborhood



744 Elliot Avenue

550 Elliot Avenue



754 Elliot Avenue



774 Elliot Avenue

Repelard House 184 Elliot Avenue



To Harvey
Access to Downtown

Elliot Avenue

No Through Road

Elliot Avenue

Access to Beach, Hesterland, Pandessy Village

To Pandessy

Richter

79 Elliot Avenue

569 Elliot Avenue

589 Elliot Avenue

621 Elliot Avenue

741 Elliot Avenue



Existing Condition

Finish Refurbishment Plan - Copeland House



- Roof to be repaired and replaced
- Fascia and soffits to be replaced
- Windows to be replaced
- Gutters and Downspouts to be added



- Widows Walk to be repaired and painted
to blend in with main body of building



- Old exterior wooden staircase to be removed
- Carport to be removed

Broken cracked stucco to be repaired



- Rusty metal object to be removed
- "Bavarian" style additions from the 1990's to be removed.



Existing Condition

Finish Refurbishment Plan - Copeland House



← All existing wiring and meters to be removed, electrical supply upgraded, new meters and all new wiring throughout.

Existing live wires supplying a baseboard heater, scorched and blackened panels, all to be removed.



← Existing heat source condemned and disconnected in March 2012 to be removed and replaced with new majestic Oxford series gas stove and new Infra Red panel technology.



← All existing bathrooms to be removed and replaced.





BEFORE

16th July 2012



AFTER (however not complete)

12th November 2012



CURRENT

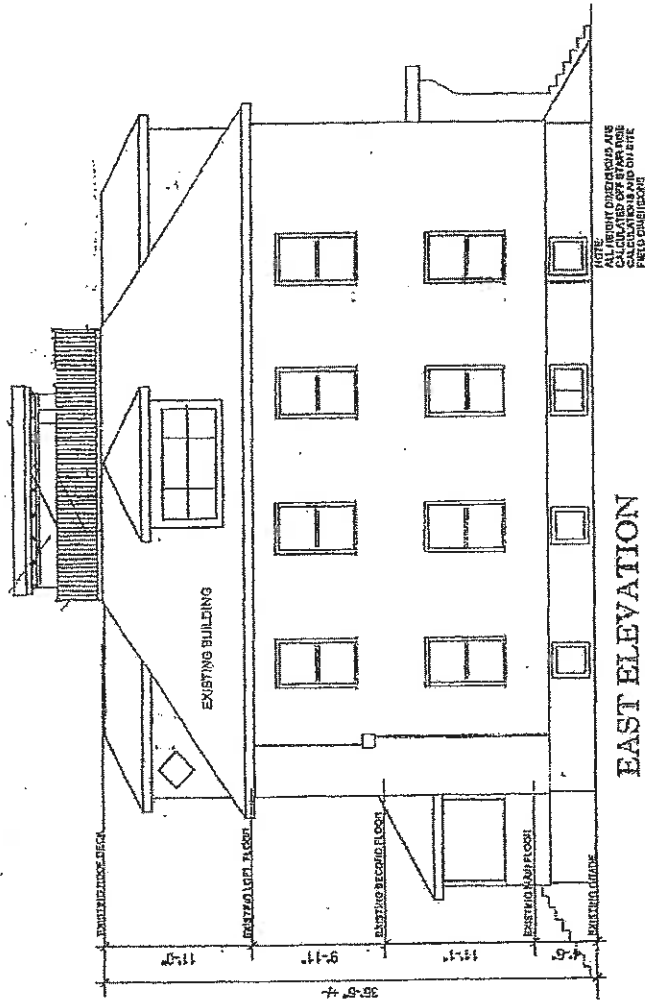
18th February 2013



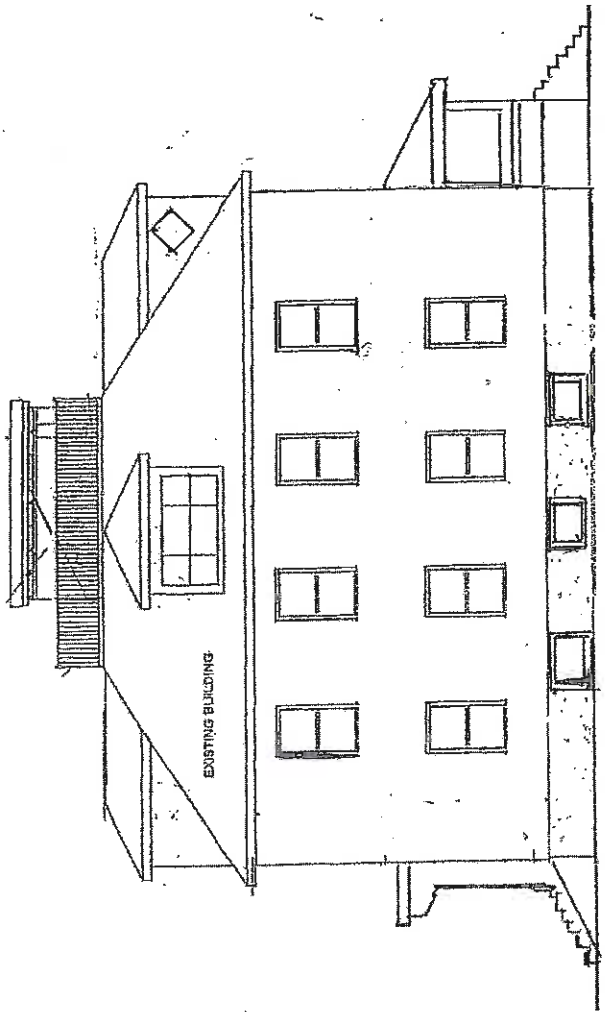
CURRENT

18th February 2013

Existing



EAST ELEVATION



WEST ELEVATION

Phase 1

East and West Elevations

Windows to be replaced with wood.

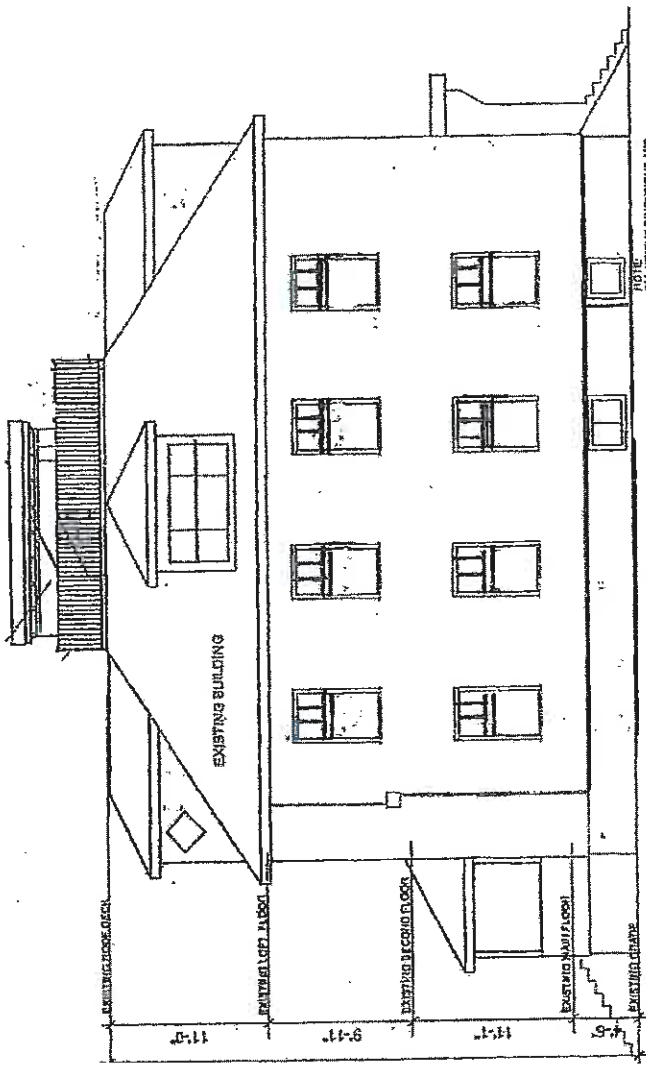
Heritage style windows.

Stucco Walls : HC31 Westbury Cream

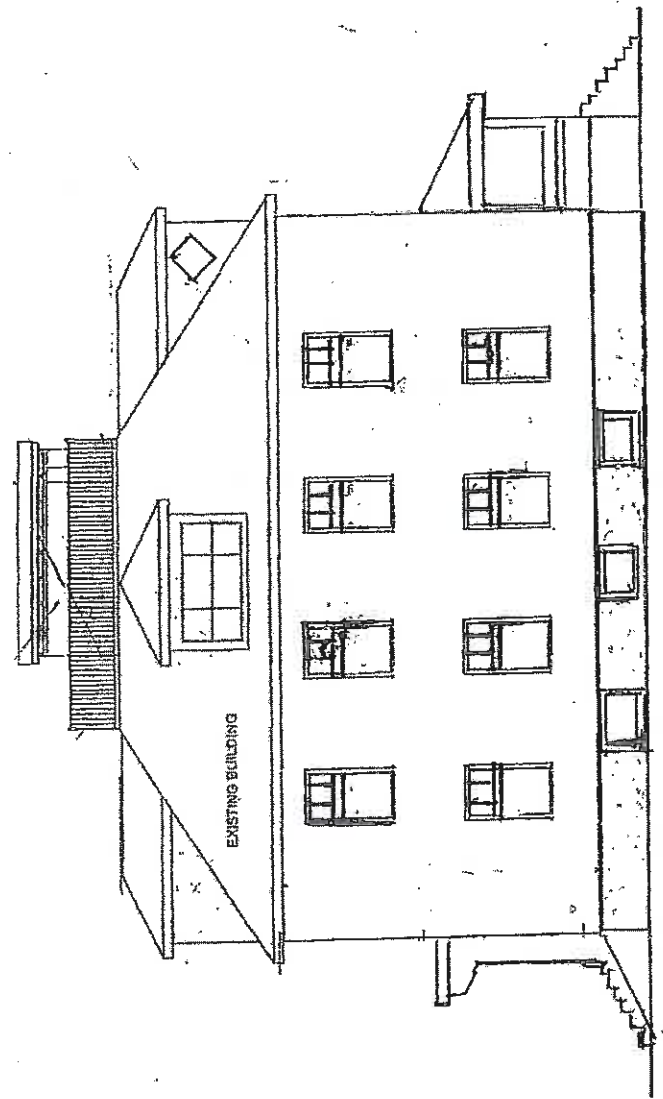
Trim : HC50 Georgian Brick

Colours from the Benjamin Moore

Historic Collection.



EAST ELEVATION

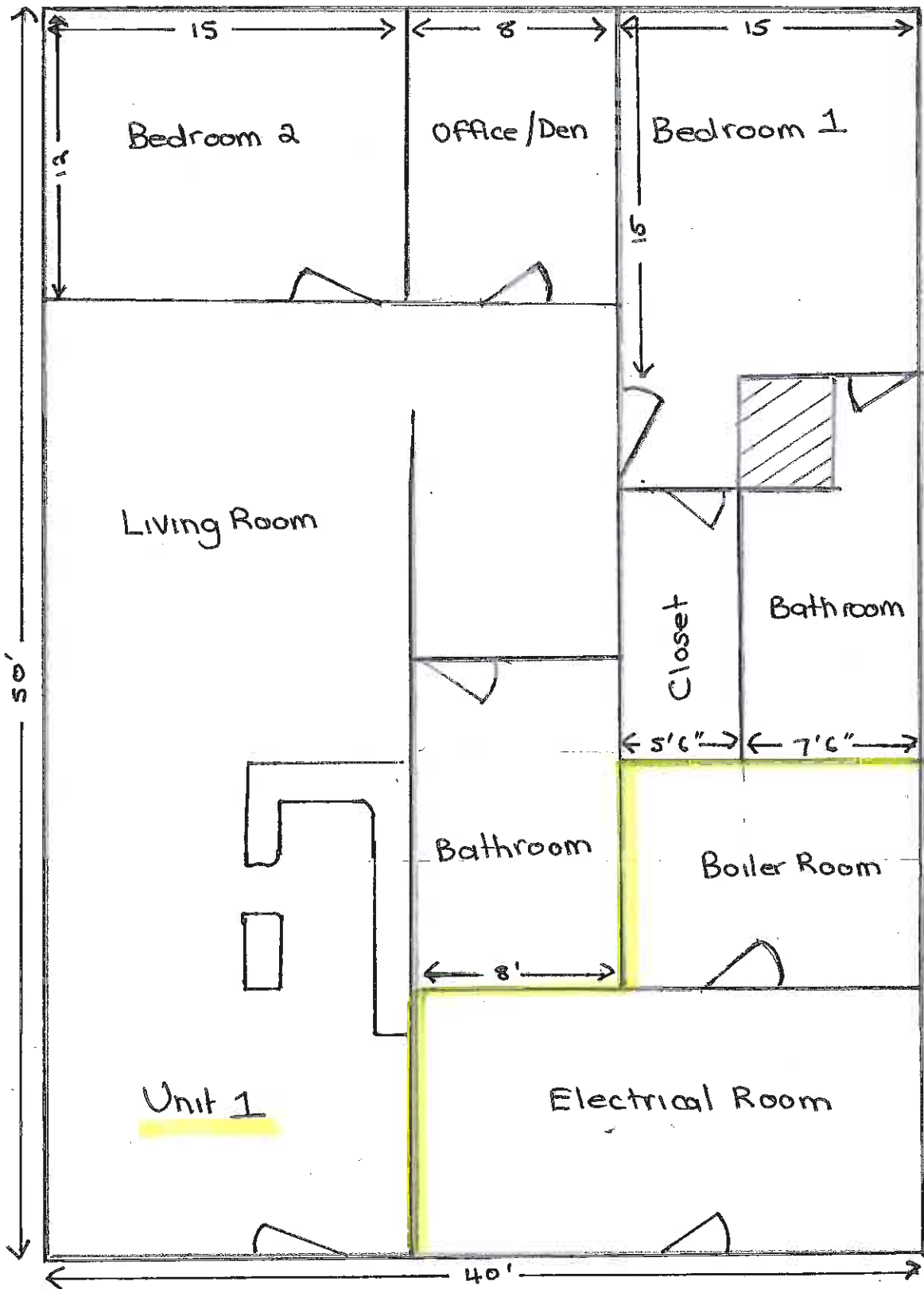


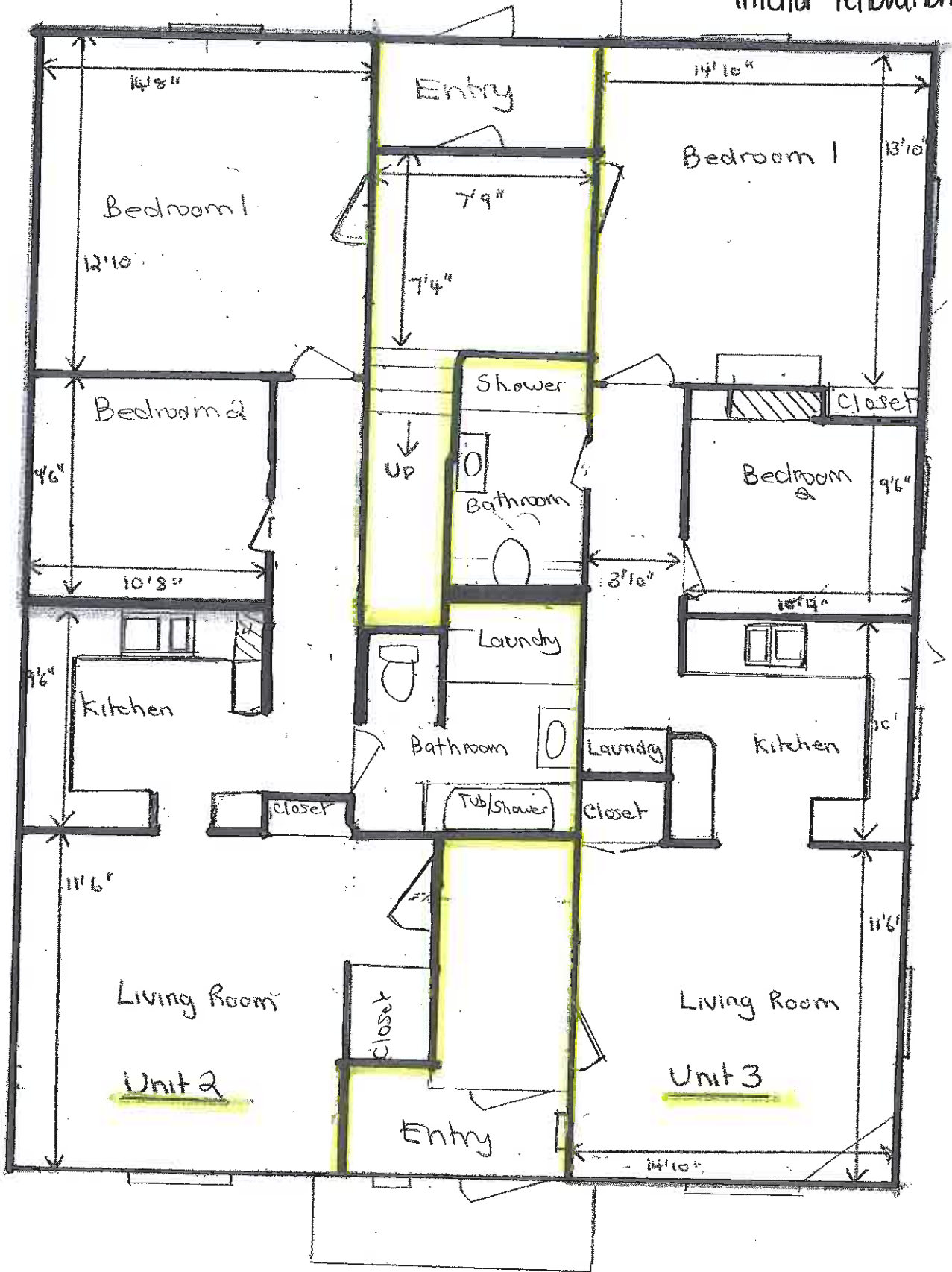
WEST ELEVATION

SCHEDULE 6279
 This forms part of development
 Permit # HRA 12-0001
 41

Basement

Copeland House
Phase 1
Interior Renovations





Scale 1:60

First Floor

Back

Copeland House
Phase 1
Interior Renovations



Penthouse
Existing
No Change

54" x 48"

2/8 x 6/8
METAL F
DOOR

SLOPED
CEILING

a 3/4" x 3/4" x 1/4" wood
width of 3/4" x 1/4"

A
2

UP

(to roof access)

EXISTING BRICK
CHIMNEY

1 3/4" x 1 3/4" SOLID WOOD
COLUMN

DOWN

FRIDGE

2/6 x 6/8
S/W DEAL

2/6 x 6/8
POCKET DOOR

Tub
60" x
32"

Fridge

Unit 6

2/4 x 6/8

WASHER

1.



2.



3.



4.



- 1. Proposed wrought iron fence
- 2. and 3. Proposed lighting
- 4. Proposed heritage style wood windows

SCHEDULE B3/9
 This forms part of development
 Permit # HRA12-001

Copeland House

784, Elliot Avenue
Kelowna
V1Y 5T1



COLOUR BOARD EXTERIOR

ROOF: Certainteed Landmark
Heather Blend

STUCCO WALLS: HC31 Westbury Cream
Acrylic Latex



TRIM: HC50 Georgian Brick
Acrylic Latex Low Lustre



METAL RAILINGS: Widows Walk Railings – HC50 Georgian Brick

LOWER STONE FASCIA: HC50 Georgian Brick
Acrylic Latex Low Lustre

All paints selected from the Benjamin Moore Historic Collection. The Georgian Brick was matched from the original back door, penetrating many layers to uncover the original paint colour.

SCHEDULE B4/9
This forms part of development
Permit # HRA12-0001

Finish Refurbishment Plan - Copeland House



New roof to prevent further leaks and decay.

Soffits, gutters, fascia and downspouts to be repaired and replaced.

Damaged stucco to be repaired.



Removal of all aerial cables and replaced underground.

New wood windows to match character of original historical style.

New lighting to building and path.

New signage and hardware.

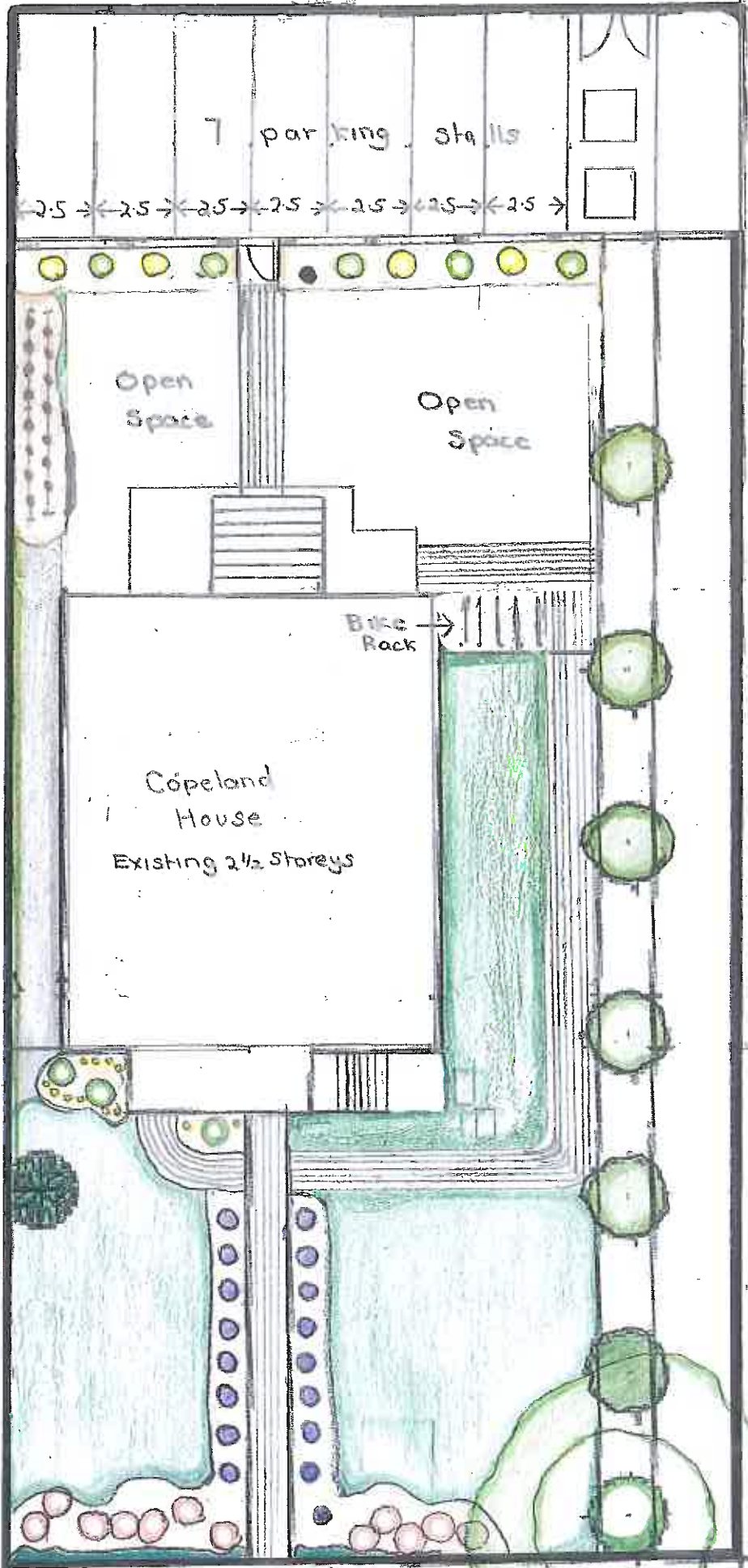


Carport to be removed.

New vehicular access to be made available from alley.

SCHEDULE B5/9
This forms part of development
Permit # HR12-0001

21.03



Copeland House Phase 1

SCHEDULE C1/5
 This forms part of development
 Permit # HR12-001

21.03



The new landscape plan will introduce a Victorian/Edwardian period perennial type of garden, lawn, shrubs and trees. Similar to above the pathway will be bordered by lavender.



Continuous plantings of green shrubs with occasional splashes of color exemplify the Victorian style.

SCHEDULE C2/5
This forms part of development
Permit # HRA12-0001

Bike Rack

A Bike Rack will be installed to provide a secure facility for the tenants to store their bicycles.

Samples for proposed type of Bicycle parking rack:



Tofino No Scratch® Bike Rack

The Sportworks Tofino is a unique combination of beautiful aesthetics and superior functionality at a terrific price. With a modern design and thoughtful integration of Sportworks No Scratch® bumper that protects bikes, the Tofino sets a new standard for all commercial bike racks.

The Tofino offers high space efficiency for two bikes in sidewalk settings, campuses, city parks, or anywhere space is limited. The Tofino provides the highest security allowing both the wheel and the frame to be secured using a variety of lock types. The Tofino is available in stainless or mild steel, and comes in a variety of mounting and coating options.

SCHEDULE 03/5

This forms part of development

Permit # HRA 12-0001

Installation of Sportworks bike racks may assist your project in qualifying for the following green building certification programs.

LEED®

Sportworks bike racks can help you achieve one or more of the following points under the LEED 2009 Rating System:

- **SS Credit 4.2—Alternative Transportation—Bicycle Storage and Changing Rooms**
To qualify for this credit, commercial, institutional or residential buildings must provide secure bicycle parking within 200 yards of a building entrance.
- **MR Credit 4.1—Recycled Content—10% | MR Credit 4.2—Recycled Content—20%**
Our bike racks are constructed of 70-90% post-industrial recycled steel components, which may qualify for points for recycled content.
- **MR Credit 5.1—Regional Materials—10% Extracted, Processed & Manufactured Regionally**
MR Credit 5.2—Regional Materials—20% Extracted, Processed & Manufactured Regionally
Our manufacturing occurs in the Pacific Northwest. If your project is within 500 miles of our factory in Woodinville, Washington, you may qualify for these credits.

Living Building Challenge

All Sportworks bike racks are fully compliant with the Materials Red List of the Living Building Challenge, which means they don't contain harmful materials including formaldehyde, halogenated flame retardants, PVC, lead, mercury, CFC's, HCFC's, neoprene (chloroprene) and cadmium.

Our bike racks may also help fulfill the following imperatives within Version 2.0 of the Living Building Challenge:

- **Site:** Car-free Living
- **Materials:** Appropriate Sourcing, and Conservation and Reuse
- **Equity:** Human Scale and Humane Places

Green Globes™

Sportworks bike racks can help you qualify for the following Green Globes™ credits:

E.2—Minimal consumption of resources

Our bike racks are made with recycled content and may be considered locally manufactured depending on the location of your project in relation to our factory in Woodinville, Washington.

C.5—Energy Efficient Transportation

Our bike racks allow you to meet the requirement of providing safe storage areas with fixed mountings for bicycles.

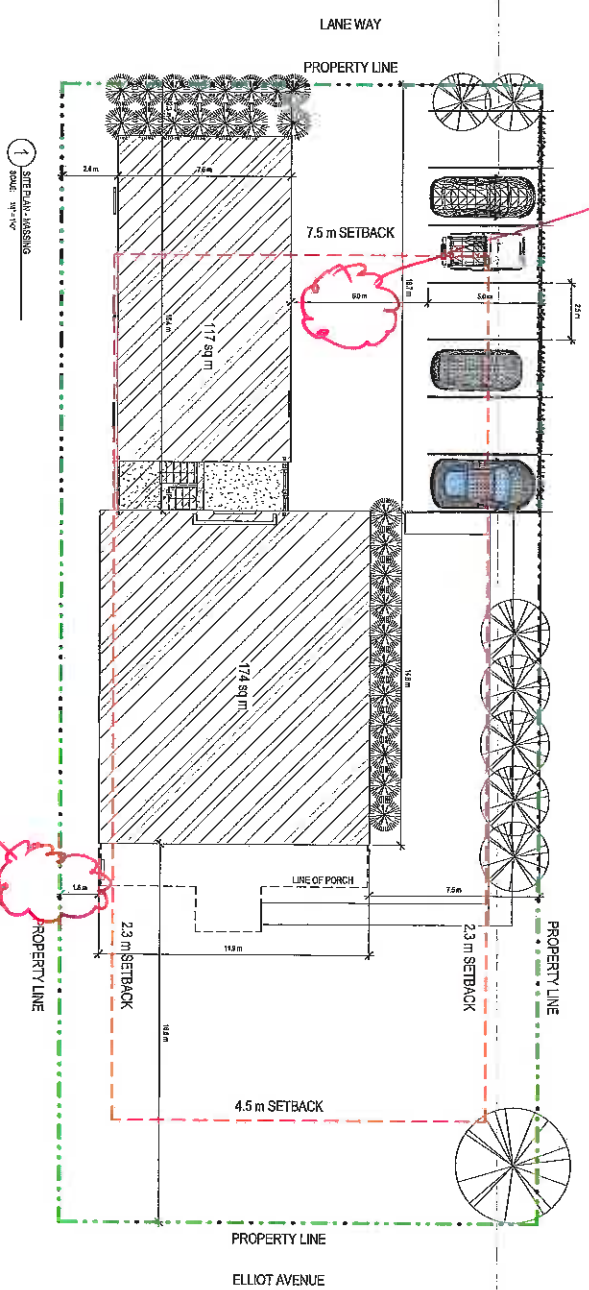
Sportworks Northwest Inc. | 15540 Wood Red Rd NE, Bldg A-200 | Woodinville, WA 98072 | www.sportworks.com
 Contact: Tel: 425-483-7000 | Fax: 425-488-9001 | salesandsupport@sportworks.com
 All dimensions and specifications nominal. Specifications are subject to change without notice. Copyright © 2011 Sportworks Northwest, Inc. All rights reserved.



Sample for proposed type of Bicycle Shelter, may be modified as new models and designs become available early 2013.

SCHEDULE C4/5
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PHASE TWO



Variance

Variance

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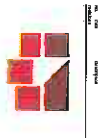
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CITY OF KELOWNA
Development Services Department

SCHEDULE A2/2
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ARCHITECTURE
URBAN PLANNING
1450 FARGO ST. SUITE 100
KELOWNA, B.C. V1Y 1Y3
780.865.1111
www.newtownarchitecture.com

PROJECT: 2326
SCHEDULE: A2/2
SHEET: 18
SITE PLAN - MASSING

DATE: 18-03-2013
DRAWN BY: J.B.
CHECKED BY: J.B.
PROJECT NO: DP1.01
SHEET NO: 18 OF 18

SCHEDULE B619
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 Permit # **HRA12-0001**

PHASE TWO

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 PROJECT #12 COPELAND HOUSE

Project: 1202
 Drawing No: COVER
 Designer: [blank]
 Author: [blank]
 Date: [blank]
 Scale: [blank]
DP0.01
 201201101001

DRAWING LIST
 DP 0.01 COVER
 DP 1.01 SITE PLAN - MASSING
 DP 1.02 SITE PLAN - LEVEL 01
 DP 3.01 ELEVATIONS
 DP 3.02 ELEVATIONS
 DP 3.02 ELEVATION

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PHASE TWO

SCHEDULE B8.9

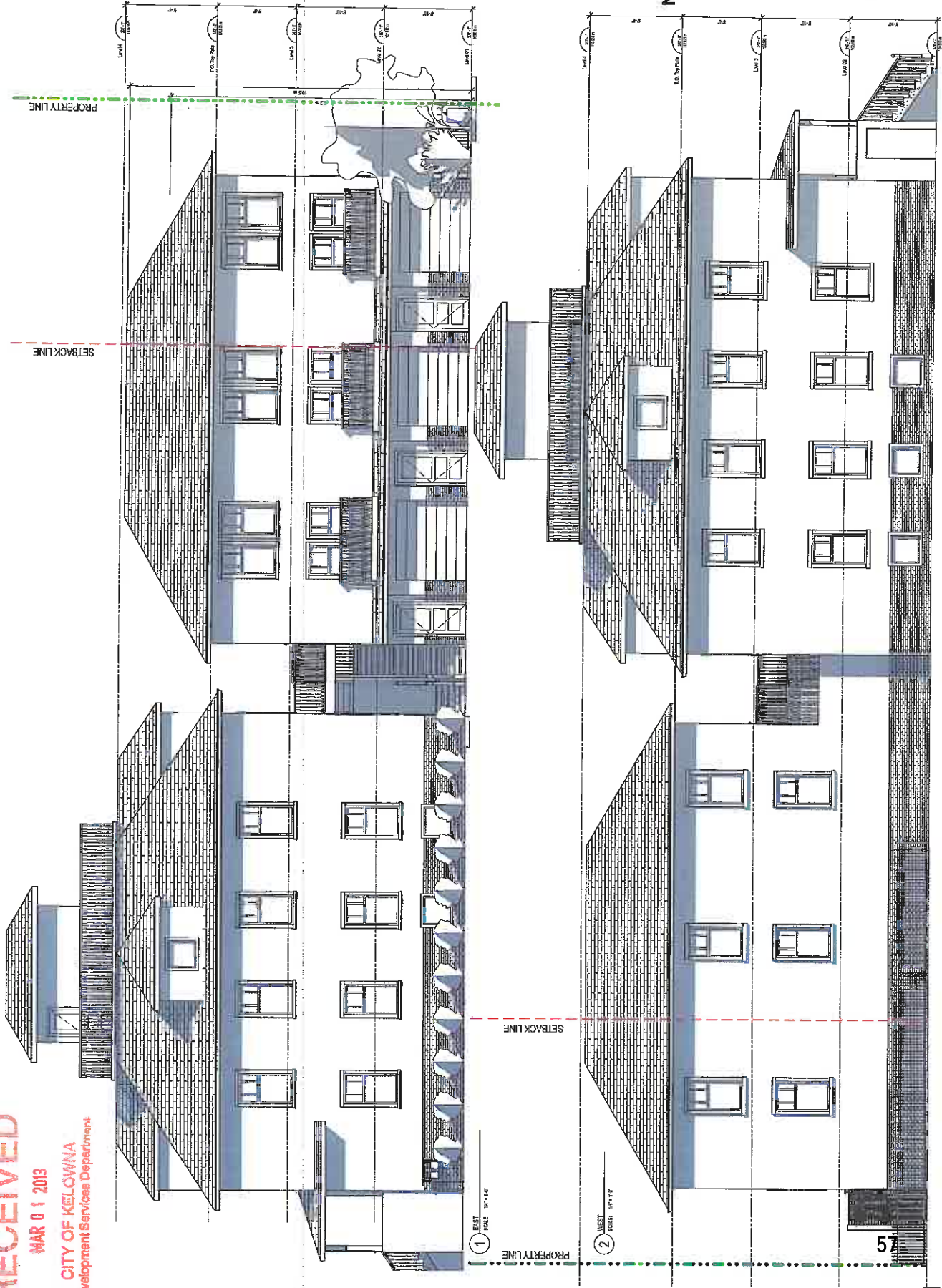
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 2. The contractor shall be responsible for obtaining all necessary permits and approvals.
 3. The contractor shall be responsible for ensuring that all work is completed in accordance with the approved plans and specifications.
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PROJECT NO. COPELAND HOUSE

PROFESSIONAL NO. 5532

DATE: 03/01/2013

SCALE: 1/4" = 1'-0"

PROJECT: ELEVATIONS - EAST AND WEST

DATE: 03/01/2013

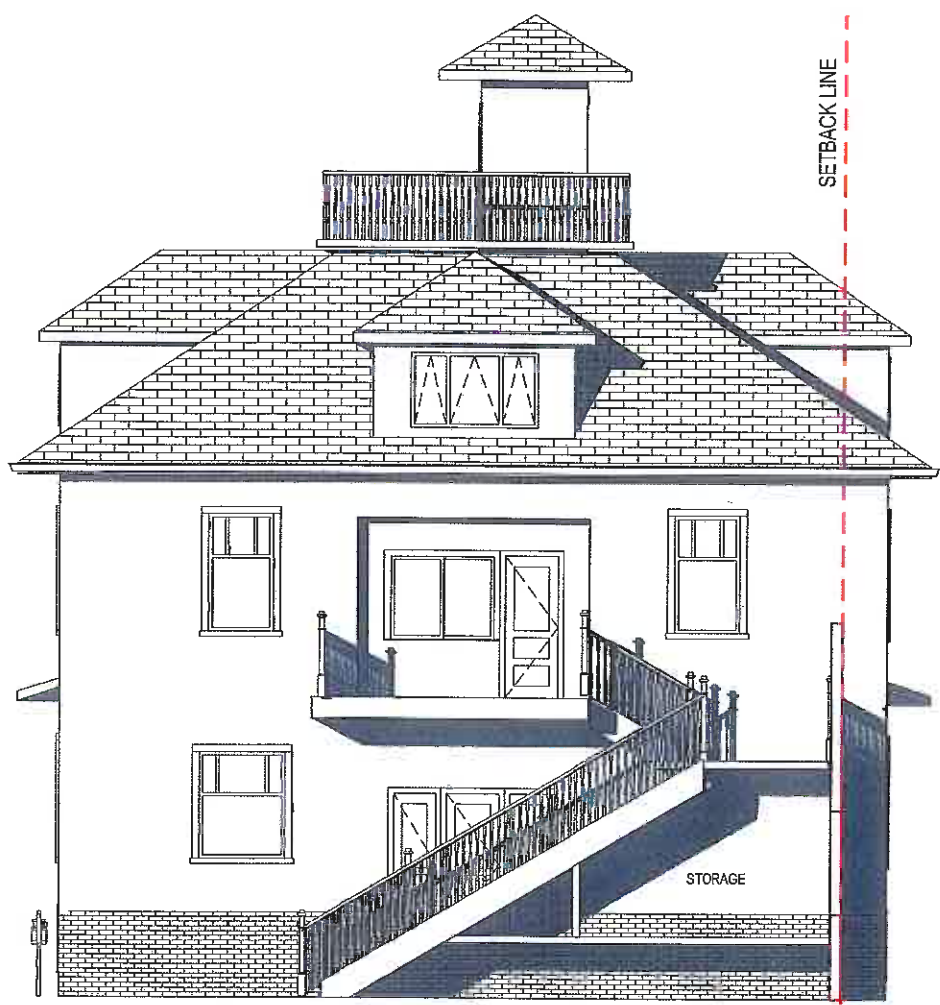
PROJECT: DP3.01

Cross Section View
between Existing building
& Phase 2. addition.

SCHEDULE B9/9
This forms part of development
Permit # HRA12-0001

Notes:
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All work shall be carried out in accordance with Canadian Standards, specifications, B.C. Building Code (2006 edition) and local authority by laws and regulations.
Tabulated notes refer to Arch D site drawing sheet.
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Contractors shall verify all dimensions prior to commencement of work.
Any omissions or discrepancies shall be reported to the architect.
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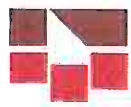
1 NORTH - EXISTING
SCALE: 1/4" = 1'-0"

PROPERTY LINE

SETBACK LINE

PHASE TWO

no.	date	description



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project title
COPELAND HOUSE

project no. 3332

drawing title
ELEVATIONS - NORTH

designed	Designer	scale	1/4" = 1'-0"
drawn	Author		
checked	Checker		

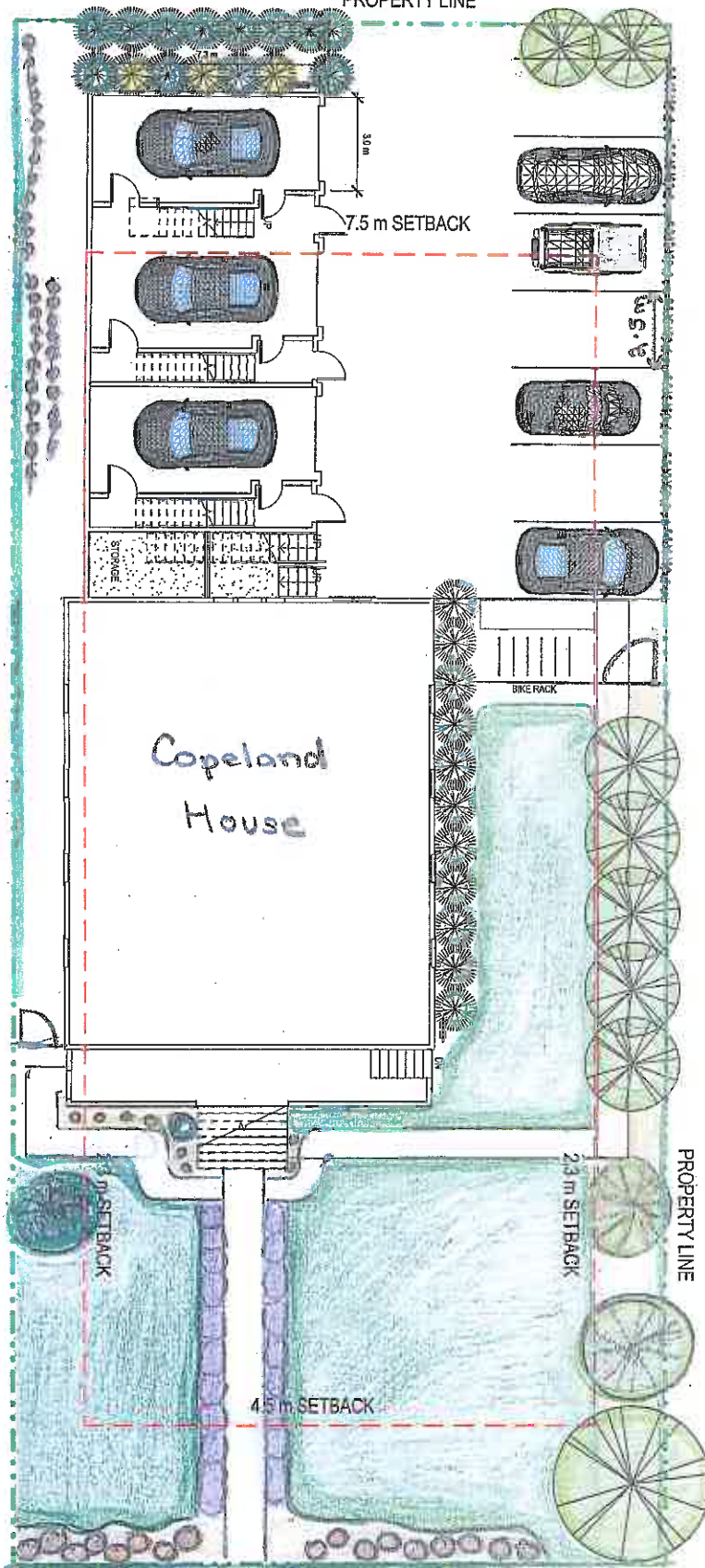
DP3.03

plotted 2/27/2013 10:18:42 AM

LANE WAY

PROPERTY LINE

1 PLAN - FIRST FLOOR
SCALE: 1:80



PROPERTY LINE

ELLIOT AVENUE

SCHEDULE C5/5
 This forms part of development
 Permit # HRA12-0001

Copeland House Phase A

Copeland House
784, Elliot Avenue
Kelowna
V1Y 5T1

Undoubtedly restorations are a challenging task, and most are accompanied by many hiccups and unforeseen circumstances, however, with this in mind we are pleased to introduce ourselves as the new owners of the Copeland House, on Elliot Avenue, Kelowna.

We always view it as a privilege to be part of an Heritage Restoration Project as it connects the past History of a property with its future well being and maintenance, and hopefully allows the building to remain part of the local environments fabric and society.

A building needs to be serviced, looked after and loved to allow it to maintain its health, and as I start putting pen to paper, or fingers to the keys, I look around the neighbourhood from the Penthouse Suite and sit in awe at the changes this building has witnessed over its 105 year existence. To think that the population of Kelowna was only 600 and there were only 6 properties between Copeland House and Orchard Park Mall, puts time into perspective. So if we can use our knowledge, passion and experience of over 30 years to promote life and wellness back into this neglected building we will certainly be very proud and happy to do so.

Designation

As can be appreciated by the accompanying documents Copeland House was a family home to the original builder Robert Andrew Copeland, and his wife Jane, who for 10 years, resided in this traditional Foursquare House. Acting as a Director of the Central Okanagan Land Company and an Alderman of Kelowna from 1911 to 1916, Robert Copeland had previously been an Hotelier in Saskatchewan for 20 years. Ironically, 100 years later, we have taken over the building he designed, having ourselves been Hoteliers for over 20 years! When Bob Copeland moved to Lumby to buy a farm he sold the property to his brother and his wife who raised 14 children in the home. In 1941 Copeland House changed from being a Single Family Home to a rooming house, and became multi family lodging in 1942 when it was redesigned to provide 8 apartments. Then, an extra 2 Units were subsequently designed, in the Basement.

With respect to Robert Andrew Copeland, and his commitment to Kelowna in those early days as the city became incorporated, Copeland Place was named after him, 767 Copeland Place being the original barn for Copeland House, and 789 Copeland Place was the ice house. To honour his achievements it will be a pleasure returning the House back to its original name of "Copeland House", and the restored Heritage Apartment Building will be known as "Copeland House Heritage Apartments".

Neighbourhood

Our adjacent neighbour Elke has lived at 774, Elliot Avenue for 42 years, and our opposite neighbour, Ken, has lived at 775, Elliot Avenue for 12 years, the tenants at 785, Elliot Avenue have rented their property from Ken for 6 years, our neighbours at 741, Elliot Avenue have been part of the neighbourhood for almost 20 years. Once families arrive in this location they discover the convenience and peaceful qualities of such a desirable neighbourhood. Unfortunately, the unsavoury characters that were either renting or squatting at 784 Elliot Avenue were the bane of all our neighbours lives. The constant drug dealing, the arrival of the police on a nightly basis, the discarding of needles in the street and the concerns of every parent as their child walked to school past our property was a nightmare.

All tenants have now been evicted, the property has been made safe, the dilapidated car port (hiding place for devious characters looking for banned substances) has been demolished, the overgrown trees resting on and damaging the roof of the property have been felled, new fencing to secure the boundary of the gardens has been erected, the neighbours are happy. Each and every household within the vicinity have blessed our arrival at 784 Elliot Avenue, we hope to fulfil all their expectations and return Copeland House into a Heritage home to be proud to live in, with a relaxing Victorian Garden to enjoy, charactered features that are unmatched in other apartment buildings, and a sense of safety and wellbeing that emanates in this neighbourhood. Our tenants will feel the heart and soul of their home, garden and neighbours.

HRA

Finish Refurbishment Plan

Copeland House, 784 Elliot Avenue, Kelowna, BC. V1Y 5T1

General Information

Contact: Jackie Gorton for any questions or clarifications.
Copeland House Property Management. Tel 250 826 3605

Project Overview

The object for this Heritage Home includes the complete restoration of the interior and exterior of the building and redesigned landscaping that will enhance the unique historical character of the property. This includes the:

- Removal of the Car Port
- Removal of surplus unsightly metal work attached to the Fire Escape
- Installation of new wrought iron garden fencing
- Refurbishment and replacement of soffits and fascia board
- Installation of new wood windows of Heritage design advised by Peter Chataway
- Repair to and replacement of roofing
- Stucco to be sympathetically brushed and cleaned, repaired and painted with Historical Collection colours from Benjamin Moore
- Updates to lighting fixtures
- Restoration of original staircase
- Update landscaping with a focus on returning to a simple Victorian Garden, with fruit trees around perimeter
- Incorporating an addition to the rear of the property to allow the units to be more spacious and in keeping with the needs and facilities of the tenants

The total restoration of Copeland House will be completed in 2 phases.

Phase 1 will predominantly focus on the reversal of decay within the property, repair to all exterior aspects of the building, replacement of all internal electrical and plumbing, the upgrade of the electrical supply from 200 amps to 600 amps, removal of aerial cables and replaced underground, reduce number of units within the Main building from 12 (10 legal and 2 illegal) to 6, upgrade and replace all kitchens and bathrooms, repair and/or replace hardwood flooring to main areas.

Phase 2 will be completed in 3 – 5 years, paying more attention to detail of the property, restoring the original verandah across the front of the property. Note: when the property was originally built in 1907, a verandah was constructed around all 4 sides of the house, it was subsequently removed during the twentieth century. Although it is now impossible to restore a verandah on all 4 sides of the building we intend to restore the south facing aspect. Phase 2 will also see the proposal to incorporate an addition to the property, located on the site of the previous car port, to the rear of the main building and along the west perimeter of the property that would emulate the style and character of the original building. Finishes to the design are yet to be determined but will have similar finishes to the interior of Copeland House. The addition will be slab on grade construction intended for residential use, providing 3 units, therefore there will be no increase in density of units on the site. Phase 2 will also see the completion of the replacement of the remaining windows to the Heritage style. The landscaping will be an ongoing enhancement as the garden develops and matures organically in its eventual design.

Interior Updates

The interior updates to the existing building will include the demolition of the illegal basement suites to provide one suite, with its own private entry and a further 4 means of egress, and in-slab radiant heating throughout. The Penthouse will remain and be completed as the current approved layout with updates to the electrical, plumbing, heating and fire detection. On each of the Main and Second floors, the previous 4 units on each floor will be consolidated into 2 units on each floor.

Fencing

A wrought iron and block pillar fence is proposed for the north perimeter separating the private parking and garden area, with a pedestrian access through a secure wrought iron gate with lighting. Fencing is existing along the east and west perimeter, this will be upgraded in Phase 2. Along the south perimeter the existing wall will be repaired and a wrought iron fence attached to the wall to provide tenants with additional security and a wrought iron gate added at the end of the footpath between the pathway and the sidewalk. Lighting to be added for security.

Parking

To remain in keeping with the majority of the adjacent properties located to the north of Elliot Avenue the vehicular access will be from the rear alley. We therefore propose to remove the driveway from the front, which will reduce both the traffic and noise impact, and will also enhance the visual aspect of the property. Seven parking stalls will be provided, the private parking will be divided from the garden by wrought iron fencing with intermittent block pillars, lighting will be installed by the secure gate access through to the building, and security lights will be installed on to all 4 corners of the building activated by movement sensors from the perimeter of the property, remaining illuminated for 2 minutes after movement ceases.

PARKING RATIONALE

1. The ease of cycling and walking to reach abundant facilities:

7 Parking Stalls and a secure Bicycle Rack will be provided. Due to the close proximity of Kelowna Downtown Business District, the Hospital and new Interior Heart and Surgical Centre, Pandosy Village and Sopa Square - with an abundant variety of retail outlets, the Beach and Schools, the "type" of tenants that will be targeted for occupancy of Copeland House will have strong "green" healthy ethics and cycling and walking will be promoted and facilitated. From 784, Elliot Avenue it is less than 10 minutes to walk and 5 minutes to cycle to the Downtown Centre. As well as secure bicycle parking, a locked indoor storage will be made available to all tenants. Easy, direct access has been incorporated into the design and location of the Bicycle Racks, and there will be sufficient space for all members of each Unit to park their bicycles. Once marketing commences for the occupancy of Copeland House, some of the unique features of the property to be emphasized will be the ability to enjoy the benefits of chartered urban living without the need for a vehicle to reach work and social destinations.

2. The close proximity to public transit:

Copeland House is situated less than 2 minutes walk to the public transit stops located on Sutherland Avenue and Richter Road. With access routes in all directions provided by the public transit system it is an extremely convenient benefit of this peaceful location to be serviced by an efficient and regular transit option. Today, an important factor of all lifestyles is the ability to moderate excessive vehicular usage, and Copeland House facilitates the ability to choose from a variety of transport options.

Windows

The white vinyl windows installed between 1995-2005 will be replaced by wooden windows, made by Glenmore Millworks, with LowE/Argon, Energysave glass, to meet Building Code specifications for insulation, and Heritage design for aesthetics for the building.

Heating

Following a consultation with Fortis BC on site, we have implemented their recommendation to install the 98% efficient tankless gas boilers into the property to balance the energy requirements of the building between gas and electric. Majestic "Oxford" Series Gas Stoves will be installed in each Unit providing a classic ambience to each Living Room, providing 28,000 BTU's of capacity capable of heating up to 1200 square feet, an 81% rated room heated efficiency, and traditional cast iron construction. Thermostatically controlled, highly efficient, and aesthetically pleasing, the gas fires create a charming and Heritage appeal to the property. Additionally, innovative and new technology into Canada, has enabled the installation of Infra Red Heating Panels to be located in the Bedrooms and Bathrooms of each Unit. Supplied by Radiance Green Technologies Ltd, the Infra Red

Panels not only provide a smarter, healthier and efficient heating system, they provide many benefits. (See additional information). To summarise, they provide inexpensive operating costs; reliability; energy saving; superb quality; unique capabilities; documented health benefits especially to the elderly, recovering patients, immobile people, repetitive motion workers, and school children; comfort and simplicity. The ability to be able to combine very modern electric healthy heating technologies and a classic Heritage designed energy efficient gas fireplace enables a sensible balance to the provision of heating. Unit 1, which occupies the Basement of the property also has the added benefit of in-slab radiant heating throughout the unit. The Navien NAVNP240NG tankless combination water heater will be installed to supply Unit 1 with both hot domestic potable water and under floor heating. The design of the heating and water supply to each unit incorporated the most cost efficient operating costs for the benefit of the tenants.

Traditionally, ceiling fans have been used historically to provide cooling in the summer time. Ceiling fans will be installed in each unit, however, wiring has been roughed in to provide the ability to install ductless split air conditioning if it is required, as recommended by Fortis BC.

In addition to the installation of modern heating appliances, all exterior walls will be clad with Styrofoam insulation to enhance the thermal efficiency of the building. All internal walls and ceilings will be filled with Roxul sound insulation. Low wattage light bulbs and appropriate light fittings are to be installed, water efficient appliances are to be installed for the laundry and bathroom applications throughout the building. Timers and sensor activated systems will be applied to the lighting of communal areas to ensure the energy efficiency of the building.

Landscape Plans

Setting the tone and style of a Victorian/Edwardian era garden with accessible space for tenants to enjoy the scents and fruits of the environment, the garden beds will be predominantly Herbaceous Perennials and Roses. A Yew hedge will be planted along the south perimeter along the wrought iron fence, and partly along the east perimeter to provide privacy for tenants in the front garden. The border on both sides of the pathway will be planted with lavender providing sweet scents when approaching the front entrance. Along the eastern border the mature walnut tree will remain. In its dappled shade a fig tree will be planted and then continuing towards the north perimeter a variety of fruit trees, some dwarf varieties, including an apple, apricot, pear, cherry and plum.

Pillars and wrought iron fence will separate the private parking from the back garden. Along the western perimeter, where raspberries have been established since the 1980's, further raspberries and blackberries will be encouraged.

Natural Organic Design
Living Gardens
Kelowna
250 826 3504

Copeland House
 784, Elliot Avenue
 Kelowna, BC
 Schedule

PLANT LIST

Key	Quantity	Name	Size
Trees Eastern Perimeter			
F	1	Fig (Ficus Moraceae)	2-6m
RA	1	Apple (Rosaceae)	3-4m
PA	1	Apricot (Prunus)	3-4m
PP	1	Plum (Prunus)	2-4m
PCh	1	Cherry (Prunus)	2-5m
RP	1	Pear (Rosaceae Pyrus)	1.5-3m
Front Bed			
M	1	Magnolia (Magnolioideae)	1-5m
Trees North Garden Perimeter			
A	2	Japanese Acer (Acer Palmatum)	1.2-4m
Co	2	Satomi Dogwood (Cornus Kousa)	2-5m
Perennials			
Pathway Border			
L	16	Lavender (Lavandula)	15-35cm
South Perimeter/East Perimeter			
T	4	Hill's Yew (Taxus Media)	1-3m
R	12	Rose (Rosa)	.5-1.5m
Front Beds			
Bl	1	Blueberry (Vaccinium corymbosum)	.5-2m
G	1	Gooseberry (Ribes)	1-3m
GKF	1	Ornamental Grasses (Karl Foerster)	1-2m
GBF	3	Ornamental Grasses (Blue Fesue)	10-20cm
West Perimeter			
Rr	2	Raspberry (Rubus)	1-4m
B	2	Blackberry (Rubus Fruticosus)	3-6m

Name Change

We have informed Canada Post, and confirmed with the Canada Post Carriers, that the property known as Elliot Apartments is under restoration, and upon completion when the building re-opens to new tenants the formal address will be:

Units 1,2,3.....etc
Copeland House
784, Elliot Avenue
Kelowna
British Columbia
V1Y 5T1

A new sign will be erected at the front of the property, to the left side of the gate that divides the property pathway and the sidewalk. The sign will be in keeping with the traditional Heritage signs throughout Kelowna describing a brief history of the building and the life of its namesake, Robert Andrew Copeland. Dimensions and wording to be confirmed following discussions with the Heritage Committee.

CITY OF KELOWNA
MEMORANDUM

Date: March 8, 2013
File No.: HRA12-0001

To: Land Use Management Department (BD)

From: Development Engineering Manager

Subject: 784 Elliot Avenue - Heritage Revitalization Agreement - *Revised*

The Development Engineering Department has the following comments and requirements associated with this application. The road and utility upgrading requirements outlined in this report will be a requirement of this development.

The Development Engineering Technologist for this project is Sergio Sartori

1. Domestic Water and Fire Protection

- (a) The property is located within the City of Kelowna service area and is serviced by a 19mm copper water service.
- (b) The developer's consulting mechanical engineer will determine the domestic and fire protection requirements of this proposed development (both phases) and establish hydrant requirements and service needs. Only one service will be permitted for this development. The applicant, at his cost, will arrange for the disconnection and replacement of the existing service. Upgrades to the existing hydrant and the installation of an additional hydrant, if required, will be at the applicants cost.
- (c) A water meter is mandatory for this development and must be installed inside the building on the water service inlet as required by the City Plumbing Regulation and Water Regulation bylaws. The developer or building contractor must purchase the meter from the City at the time of application for a building permit from the Inspection Services Department, and prepare the meter setter at his cost. Boulevard landscaping, complete with underground irrigation system, must be integrated with the on-site irrigation system.

2. Sanitary Sewer

- (a) The property is serviced by a 100mm diameter service.
- (b) The developer's consulting mechanical engineer will determine the development requirements of this proposed development (both phases) and establish the service needs. Only one service will be permitted for this development. The applicant, at his cost, will arrange for the removal and disconnection of the existing service and the installation of one new larger service.

Item	Cost
Curb & Gutter	\$ 1,840.00
Sidewalk	\$ 0.00
Street Lighting	\$ 710.00
<i>Landscape Boulevard</i>	\$ 0.00
<i>Road Fillet</i>	\$ 552.00
Total	\$3,102.00

10. Development Permit and Site Related Issues

- (a) The development will be required to contain and dispose of site generated storm water on the site by installing ground recharge system consisting of drywells and perforated pipe bedded in drain rock/rock pits.
- (b) The request is to vary the following do not compromise our servicing requirements:
- (i) Rear yard set back of 7.5m required to 2.3m proposed.
 - (ii) To legalize the non conforming side yard for heritage building to accommodate the addition.
 - (iii) To reduce the drive isle width from 7.0m required to 6.0m proposed.
 - (iv) To increase the allowable percentage of small parking spaces from 40% to 70% proposed.
 - (v) To vary the parking requirement for the project we would suggest the applicant justify the deficiency in parking for both phases and detail how they intend to control and manage the reduction in parking and vehicle size requirements.



Steve Muenz, P. Eng.
Development Engineering Manager
ss



[New Search](#)

Heritage Building

784 Elliott Ave - Copeland House/Elliott Apartments

Place Description: The historic place is the two-and-one-half-storey, wood-frame Copeland House (Elliott Apartments) at 784 Elliott Avenue.

Heritage Value: The heritage value of the Copeland House/Elliott Apartments is due in part to its association with Robert Andrew Copeland, who was active as an early land developer and Kelowna alderman; and for the transition of the building from a family home to a rooming house, and then to apartment units, as inner-city population densification occurred. It also has architectural value as a good example of a foursquare house.

The house has value for its association with Robert Andrew (Bob) Copeland (1864-1955), married to Jane (Belle) Copeland, who built the house when he came to Kelowna in the spring of 1907. He had previously operated a hotel in Grenfell, Saskatchewan, for twenty years. He had served as an auxiliary in the Northwest Rebellion, part of the 'Grenfell Connection.' Copeland became a director of the Central Okanagan Land Company and served as an alderman from 1911 to 1916. Copeland Place was named for him. (767 Copeland Place was originally the barn and 789 Copeland Place the ice house formerly associated with the historic place).

In 1917 the Copelands left Kelowna and took up farming in the Lumby district. Bob was president of the United Farmers of British Columbia from 1919 to 1921. In 1942 the Copelands sold the farm and returned to retirement in Kelowna.

The historic place also has value for changing its use with changes in the neighbourhood. It was apparently still a single residence in 1938, owned by W.R. Miller. In 1941 it was listed as a rooming house, owned by Jacob Vohli. During the acute housing shortage of WWII, in 1942, owner Ethel Yegli (later Mrs. Ethel Bryan) remodeled it as eight apartments, with two rooms each. "Elliott Apartments" went through a series of at least fifteen owners between 1940 and 1965.

The house is a good example of a Foursquare, with its square (or nearly square) plan and the medium-pitched hipped roof. The type is clearly legible, although its external details have been considerably modified over the years.

Character Defining Elements:

- Location on Elliott Avenue in Kelowna's South Central neighbourhood
- Residential form, scale and massing, expressed by two-storey height (plus basement) and squarish plan
- Medium-pitch hipped roof
- Half-hip roof protecting entrance door and porch
- Symmetrical fenestration, with 1-over-1, double-hung, wood sash windows, with plain and decorative wide wood trim, some of which may be more recent in application (the later metal-sash windows are not character-defining elements)
- Painted wood, diamond-shaped symbols applied to the front elevation on both levels
- Uniform off-white painted stucco
- Mature landscaping around the perimeter of the property, with a private front lawn



CITY OF KELOWNA

BYLAW NO. 10840

Heritage Revitalization Agreement Authorization Bylaw HRA12-0001– 784 Elliot Avenue – 0874309 B.C. Ltd., Inc. No. BC874309

WHEREAS a local government may, by bylaw, enter into a heritage revitalization agreement with the Owner of property which Council deems to be of heritage value pursuant to section 966 of the *Local Government Act*;

AND WHEREAS the Municipal Council of the City of Kelowna is desirous of entering into a Heritage Revitalization Agreement with 0874309 B.C. Ltd., Inc. No. BC874309 for the property located at 784 Elliot Avenue, Kelowna, B.C.;

THEREFORE the Municipal Council of the City of Kelowna, in open meeting assembled, enacts as follows:

1. The Municipal Council of the City of Kelowna hereby authorizes the City of Kelowna to enter into a Heritage Revitalization Agreement with 0874309 B.C. Ltd., Inc. No. BC874309 for the property located at 784 Elliot Avenue, Kelowna, B.C., and legally described as:

Lot 3, District Lot 138, ODYD, Plan 9360

In the form of such Agreement attached to and forming part of this bylaw as Schedule "A".

2. The Mayor and City Clerk are hereby authorized to execute the attached agreement, as well as any conveyances, deeds, receipts and other documents in connection with the attached agreement, and to affix the corporate seal of the City of Kelowna to same.

Read a first time by the Municipal Council this

Considered at a Public Hearing this

Read a second and third time by the Municipal Council this

Approved under the Transportation Act this

(Approving Officer-Ministry of Transportation)

Adopted by the Municipal Council of the City of Kelowna this

Mayor

City Clerk

SCHEDULE "A"
HERITAGE REVITALIZATION AGREEMENT

DOCUMENT APPROVAL			
Document No. HRA12-0001			
Cir	Department	Date	Init.
	LUM		
	Dev. Eng.		
	Bldg & Permit		
	City Clerks		

THIS AGREEMENT dated as of the 15 day of April, 2013

BETWEEN:

CITY OF KELOWNA, a Municipal Corporation having offices at
 1435 Water Street, Kelowna, British Columbia V1Y 1J4
 (herein called the "CITY")

OF THE FIRST PART

AND: 0874309 BC Ltd., Inc. No. BC00874309
 (Jackie Gorton)
 9 - 3151 Lakeshore Rd
 Suite 318
 Kelowna, BC, V1W 3S9
 (herein called the "OWNER")

OF THE SECOND PART

WHEREAS a local government may, by bylaw, enter into a Heritage Revitalization Agreement with the Owner of property identified as having heritage value, pursuant to Section 966 of the *Local Government Act*;

AND WHEREAS the Owner owns certain real property on which is situated a building of heritage value, pursuant to the City's Heritage Register, which property and building are located at 862 Bernard Avenue, Kelowna, British Columbia and legally described as:

Parcel Identifier: 004-962-028
 Lot 3, District Lot 138, ODYD, Plan 9360
 (herein called the "Heritage Lands")

AND WHEREAS the Owner has presented to the City a proposal for the use, development and preservation of the Heritage Lands and has voluntarily and without any requirement by the City, entered into this agreement pursuant to Section 966 of the *Local Government Act*;

AND WHEREAS a local government must hold a Public Hearing on the matter before entering into, or amending, a Heritage Revitalization Agreement if the agreement or amendment would permit a change to the use or density of use that is not otherwise authorized by the applicable zoning of the Heritage Lands and for these purposes Section 890 through 894 of the *Local Government Act* apply;

AND WHEREAS within thirty days after entering into, or amending, a Heritage Revitalization Agreement the local government must file a notice in the Land Title Office in accordance with Section 976 of the *Local Government Act* and give notice to the Minister responsible for the *Heritage Conservation Act* in accordance with Section 977 of the *Local Government Act*;

NOW THEREFORE in consideration of the mutual promises contained in this agreement and other good and valuable consideration, the receipt and sufficiency of which is hereby acknowledged, the parties agree as follows:

1.0 Heritage Revitalization

1.1 The parties agree that the Heritage Lands have heritage value, deserving of protection and conservation and the Owner specifically agrees to restore, maintain, preserve and protect the heritage character of the buildings located on the Heritage Lands in accordance with attached Schedules "A", "B", & "C".

1.2 The parties agree that the Heritage Lands may, notwithstanding the RU6 - Two Dwelling Housing zoning on the Heritage Lands, be used for the following permitted uses within the Heritage Building on the identified Heritage Lands:

(a) The adaptive reuse of the house to a multi-family dwelling provided that:

- i. The construction of 6 residential units to be located with the existing building;
- ii. The construction of an additional 3 units within an addition of the existing dwelling as shown in Schedules "A2" and "B6-B9";
- iii. A commemorative placard noting "Copeland House" and historical family facts be installed on the site.

(b) The Owner will apply for all necessary building permits and complete the heritage revitalization works to the Heritage Building detailed in Schedules "B" attached to this agreement at the satisfaction of the City of Kelowna's Building and Permitting Branch prior to substantial completion of the entire development.

(c) The Owner agrees to the designation of the property under Section 967 of the Local Government Act as a municipally designated Heritage Lands.

1.3 The parties agree that, except as varied or supplemented by the provisions of this agreement, all bylaws and regulations of the City and all laws of any authority having jurisdiction shall apply to the Heritage Lands and the Heritage Building.

1.4 Where a Heritage Alteration Permit is required, the discretion to approve, refuse, or revise such permit is delegated by Council to the Director of Land Use Management.

2.0 Conservation and Maintenance of Existing Development.

2.1 The owner agrees not to alter the exterior of the heritage building except pursuant to a heritage alteration permit issued by the City, and in accordance with this agreement.

- 2.2 The owner agrees to restore the exterior of the Heritage Building on the Heritage Lands in general accordance with the design proposal attached hereto as Schedules "B 1-B9", and forming part of this agreement, which restoration shall include, but not be restricted to the following:

a) Performing cosmetic upgrades to the exterior of the existing Heritage Building which will increase the life of the building's heritage features as shown on Schedule "B1-B9";

- 2.3 If original features must be replaced, the new material shall be similar or identical to the original. Where original features were removed through earlier renovations or alterations and the replacements were not in keeping with the original style of the building, any subsequent replacement of these features shall complement the building's heritage style.

3.0 **Proposed Development**

- 3.1 The parties agree that variances to the following subsections of Section 8 - Parking and Loading of City of Kelowna Zoning Bylaw No. 8000 be granted through this agreement for Phase One:

Zoning Bylaw No. 8000 - Table 8.1 - Parking Schedule:

Section 8.1 - Parking Schedule - Apartments

To vary the parking requirement from 9 spaces required to 7 spaces proposed as shown in Schedule "A1" attached to this agreement.

- 3.2 The parties agree that variances to the following subsections of Section 13 - Urban Residential Zones & Section 8 - Parking and Loading of City of Kelowna Zoning Bylaw No. 8000 be granted through this agreement for Phase Two:

Zoning Bylaw No. 8000 - 13.10.6 Development Regulations:

Section 13.6.6 (d) - Development Regulation - Side Yard Setback

To legitimize the west side yard set back from 2.3m required to 1.6m proposed (existing) as shown in Schedule "A2" attached to this agreement.

Section 13.6.6 (e) - Development Regulations - Rear Yard

To vary the minimum required rear yard for the proposed addition from 7.5m required to 2.3m proposed, as shown in Schedule "A2" attached to this agreement.

Zoning Bylaw No. 8000 - Table 8.1 - Parking Schedule:

Section 8.1 - Parking Schedule - Apartments

To vary the parking requirement from 13 spaces required to 10 spaces proposed as shown in Schedule "A2" attached to this agreement.

Zoning Bylaw No. 8000 - Section 8 - Parking and Loading:

Section 8.1.11(a) - Size of Parking Spaces

To vary the allowable percentage of small parking space from 40% to 70% proposed.

- 3.3 The Owner agrees to undertake and maintain landscaping on the subject property in general accordance with the landscape plans attached hereto as Schedule "C1- C5" and forming part of this agreement.

(herein after called the "Landscaping Works")

- 3.4 The Owner agrees to provide and pay for all servicing required by the proposed development of the Heritage Lands and to provide required bonding for same, including, but not limited to: domestic water and fire protection, sanitary sewer, storm drainage, road improvements, road dedications and statutory rights-of-way for utility servicing, power and telecommunication services and street lighting all as noted in section 4.0 of this agreement.

(herein after called the "Development Engineering Department Requirements")

4.0 Development Engineering Requirements

4.1 Domestic Water and Fire Protection

- (a) The property is located within the City of Kelowna service area and is serviced by a 19mm copper water service.
- (b) The developer's consulting mechanical engineer will determine the domestic and fire protection requirements of this proposed development (both phases) and establish hydrant requirements and service needs. Only one service will be permitted for this development. The applicant, at his cost, will arrange for the disconnection and replacement of the existing service. Upgrades to the existing hydrant and the installation of an additional hydrant, if required, will be at the applicants cost.
- (c) A water meter is mandatory for this development and must be installed inside the building on the water service inlet as required by the City Plumbing Regulation and Water Regulation bylaws. The developer or building contractor must purchase the meter from the City at the time of application for a building permit from the Inspection Services Department, and prepare the meter setter at his cost. Boulevard landscaping, complete with underground irrigation system, must be integrated with the on-site irrigation system.

4.2 Sanitary Sewer

- (a) The property is serviced by a 100mm diameter service.
- (b) The developer's consulting mechanical engineer will determine the development requirements of this proposed development (both phases) and establish the service needs. Only one service will be permitted for this development. The applicant, at his cost, will arrange for the removal and disconnection of the existing service and the installation of one new larger service.

4.3 Site Access and Development Related Issues

- (a) Elliot Avenue must be upgraded to an urban standard along the full frontage of this proposed development, including curb and gutter, fillet pavement, street lighting and re-location or adjustment of utility appurtenances if required to accommodate the upgrading construction.

this proposed development, including curb and gutter, fillet pavement, street lighting and re-location or adjustment of utility appurtenances if required to accommodate the upgrading construction.

- (b) The development will be required to contain and dispose of site generated storm water on the site by installing ground recharge system consisting of drywells and perforated pipe bedded in drain rock/rock pits.
- (c) The request is to vary the following do not compromise our servicing requirements:
 - (i) Rear yard set back of 7.5m required to 2.3m proposed.
 - (ii) To legalize the non conforming side yard for heritage building to accommodate the addition.
 - (iii) To reduce the drive isle width from 7.0m required to 6.0m proposed.
 - (iv) To increase the allowable percentage of small parking spaces from 40% to 70% proposed.
 - (v) To vary the parking requirement for the project we would suggest the applicant justify the deficiency in parking for both phases and detail how they intend to control and manage the reduction in parking and vehicle size requirements.

4.4 Electric Power and Telecommunication Services

It is the applicant's responsibility to make a servicing application with the respective electric power, telephone and cable transmission companies to arrange for service upgrades to these services which would be at the applicant's cost.

5.0 Building and Permitting

No comment for phase 1.

Drawings are required for the phase 2 prior to comment (new building). *No comments were provided with the exception of the need for a full plan check review when revised drawings were submitted.*

6.0 Fire Department

No comments.

7.0 Commencement and Completion

The Owner agrees to commence the Restoration Works, Landscaping Works, and Development Engineering Requirements forthwith upon adoption of City of Kelowna Heritage Revitalization Agreement Authorization Bylaw No. 10840 as follows:

- the restoration work, landscape works and Development Engineering requirements as described in Phase 1 shall be completed within three years following the adoption of the Bylaw authorizing this Agreement; and
- the remaining works as outlined in Phase 2 shall be completed within five years following the adoption of the Bylaw authorizing this Agreement.

accordance with all other bylaws or regulations of the City or any other laws of authority having jurisdiction.

9.0 Breach

9.1 In the event that the Owner is in breach of any term of this Agreement, the City may give the Owner notice in writing of the breach and the Owner shall remedy the breach within 30 days of receipt of the notice. In the event that the Owner fails to remedy the breach within the time allotted by the notice, the City may, by bylaw and after conducting a Public Hearing in the manner prescribed by Sections 890 through 894 of the *Local Government Act*, cancel this Agreement whereupon all use and occupation of the Heritage Lands shall thenceforth be in accordance with the zoning bylaws of the City and in accordance with all other bylaws or regulations of the City or any other laws of authority having jurisdiction.

10.0 Amendment

10.1 The parties acknowledge and agree that this Agreement may only be amended by one of the following means:

a) By bylaw with the consent of the parties provided that a Public Hearing shall be held if an amendment would permit a change to use or density of use on site or;

b) By Heritage Alteration Permit (HAP), issued pursuant to Section 972 of the *Local Government Act*.

11.0 Representations

11.1 It is mutually understood and agreed upon between the parties that the City has made no representations, covenants, warranties, promises or agreements expressed or implied, other than those expressly contained in this Agreement.

12.0 Statutory Functions

12.1 Except as expressly varied or supplemented herein, this Agreement shall not prejudice or affect the rights and powers of the City in the exercise of its statutory functions and responsibilities including, but not limited to, the *Local Government Act* and its rights and powers under any enactments, bylaws, order or regulations, all of which, except as expressly varied or supplemented herein, are applicable to the Heritage Lands.

13.0 Enurement

13.1 This Agreement inures to the benefit of and is binding upon the parties hereto and their respective heirs, executors, administrators, successors and assigns.

14.0 Other Documents

14.1 The Owner agrees at the request of the City, to execute and deliver or cause to be executed and delivered all such further agreements, documents and instruments and to do and perform or cause to be done and performed all such acts and things as may be required in the opinion of the City to give full effect to the intent of this Agreement.

be required in the opinion of the City to give full effect to the intent of this Agreement.

15.0 Notices

15.1 Any notice required to be given pursuant to this Agreement shall be in writing and shall either be delivered mailed by registered mail as follows:

(a) To the City:

City of Kelowna
1435 Water Street
Kelowna, B.C. V1Y 1J4

ATTENTION: City Clerk

(b) To the Owner:

0874309 BC Ltd., Inc. No. BC00874309
(Jackie Gorton)
9 - 3151 Lakeshore Rd
Suite 318
Kelowna, BC, V1W 3S9

Or, to such other address to which a party hereto may from time to time advise in writing

16.0 No Partnership or Agency

16.1 The parties agree that nothing contained herein creates a relationship between the parties of partnership, joint venture or agency.

IN WITNESS WHEREOF this Agreement has been executed by the parties hereto on the day and year first above written.

CITY OF KELOWNA
By its authorized signatories

Mayor

City Clerk

0874309 BC Ltd., Inc. No. BC00874309

Signed by JACKIE GORTON

In the presence of:

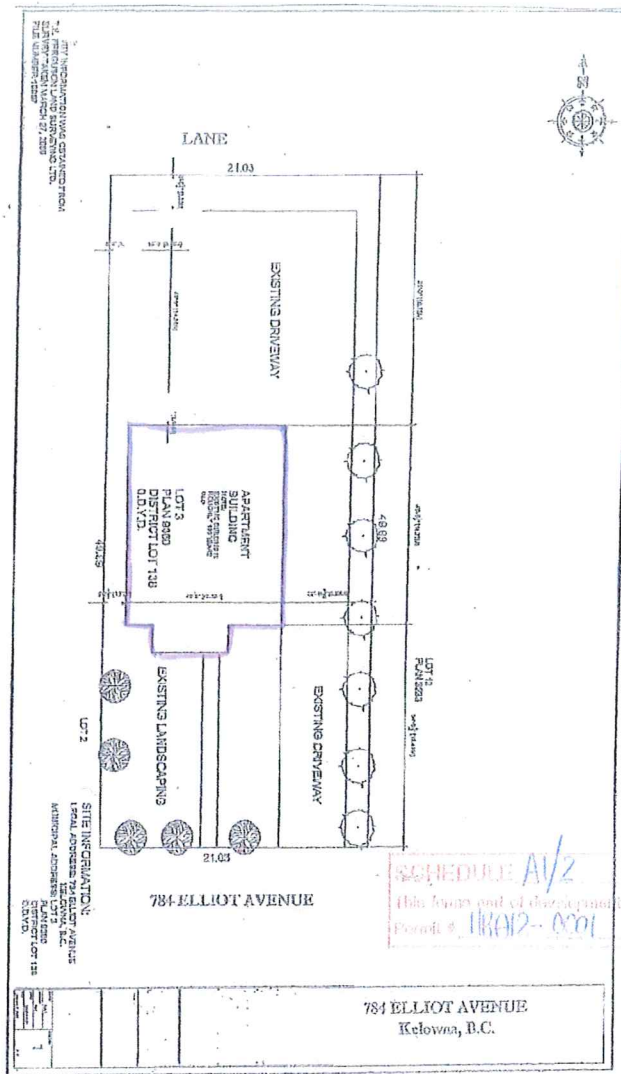
B Deboox
Witness (print name)

[Signature]
Witness (Signature)

Kelowna City Hall
Address

Urban Land Planner
Occupation

Copeland House Existing

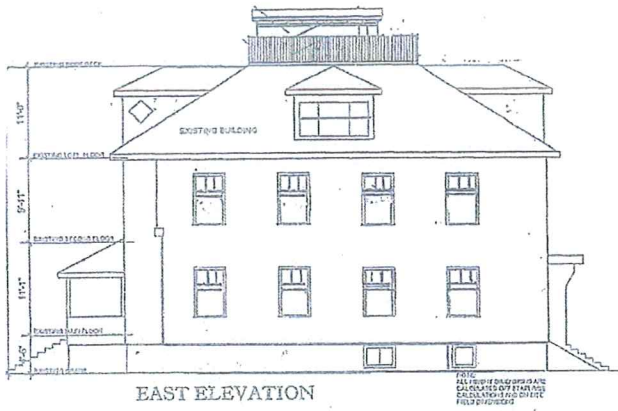


Phase 1

East and West Elevations

Windows to be replaced with wood.
Heritage style windows.

Stucco Walls : HC31 Westbury Cream
Trim : HC50 Georgian Brick
Colours from the Benjamin Moore
Historic Collection.



SCHEDULE 52/9
THIS FORM IS PART OF PERMITS/NOTICE
FORM # 06A12-0001

1.



2.



3.



4.



- 1. Proposed wrought iron fence
- 2 and 3. Proposed lighting
- 4. Proposed heritage style wood windows

SCHEDULE B3/9
 this fence part of fence around
 rough # 118413-001

Copeland House

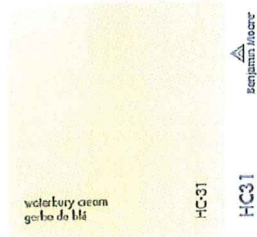
Copeland House
784, Elliot Avenue
Kelowna
V1Y 5T1



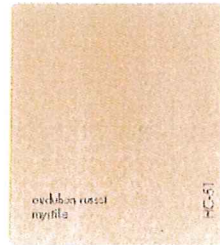
**COLOUR BOARD
EXTERIOR**

ROOF: Certainced Landmark
Heather Blend

STUCCO WALLS: HC31 Westbury Cream
Acrylic Latex



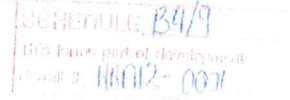
TRIM: HC50 Georgian Brick
Acrylic Latex Low Lustre



METAL RAILINGS: Widows Walk Railings – HC50 Georgian Brick

LOWER STONE FASCIA: HC50 Georgian Brick
Acrylic Latex Low Lustre

All paints selected from the Benjamin Moore Historic Collection. The Georgian Brick was matched from the original back door, penetrating many layers to uncover the original paint colour.



Finish Refurbishment Plan - Copeland House.



New roof to prevent further leaks and decay.

Soffits, gutters, fascia and downspouts to be repaired and replaced.

Damaged stucco to be repaired.



Removal of all aerial cables and replaced underground.

New wood windows to match character of original historical style.

New lighting to building and path.

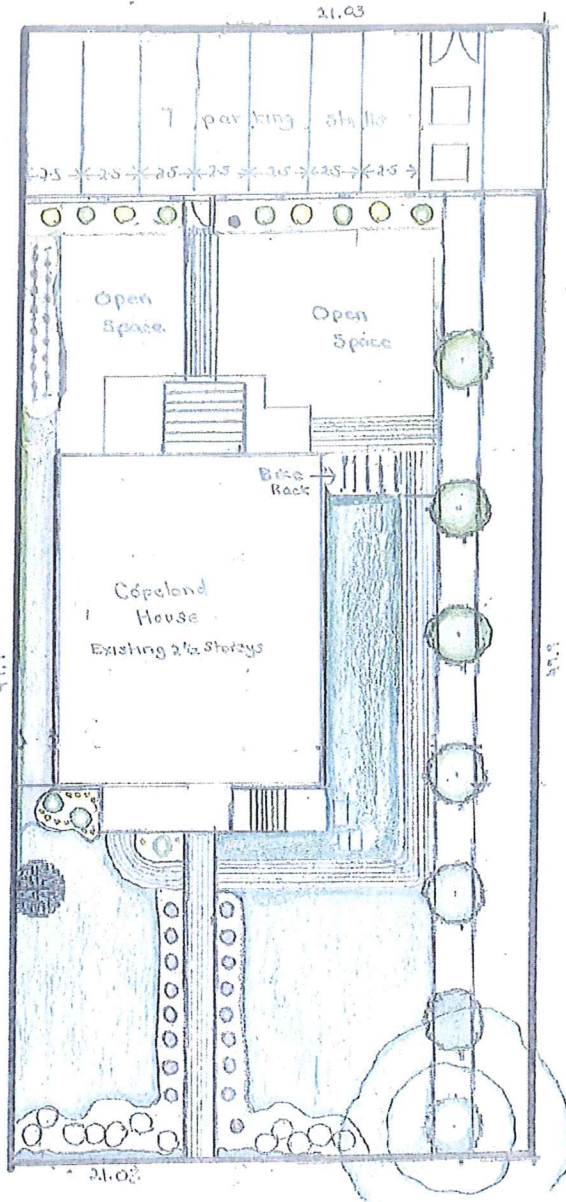
New signage and hardware.



Carport to be removed.

New vehicular access to be made available from alley.

SCHEDULE B5/1
If in some part of development
Sheet # 11/4/12 - 001



Capeland House Phase 1

SCHEDULE C1/5
 This forms part of Contract C1/5
 between the
 Principal & HRA/2002



The new landscape plan will introduce a Victorian/Edwardian period perennial type of garden, lawn, shrubs and trees. Similar to above the pathway will be bordered by lavender.



Continuous plantings of green shrubs with occasional splashes of color exemplify the Victorian style.

SCHEDULE C2-15
This is an act of development
Permit # HRAW-1001

Bike Rack

A Bike Rack will be installed to provide a secure facility for the tenants to store their bicycles.

Samples for proposed type of Bicycle parking rack:



Tofino No Scratch® Bike Rack

The Sportworks Tofino is a unique combination of beautiful aesthetics and superior functionality at a terrific price. With a modern design and thoughtful integration of Sportworks No Scratch® bumper that protects bikes, the Tofino sets a new standard for all commercial bike racks.

The Tofino offers high space efficiency for two bikes in sidewalk settings, campuses, city parks, or anywhere space is limited. The Tofino provides the highest security allowing both the wheel and the frame to be secured using a variety of lock types. The Tofino is available in stainless or mild steel, and comes in a variety of mounting and coating options.

SCHEDULE 13/5
This form part of development
PART 9, HRA012-001



Sample for proposed type of Bicycle Shelter, may be modified as new models and designs become available early 2013.

SCARBOROUGH, CA/5
this from part of development
Permit # HRS913 - 0001

Phase two

SCHEDULE B3/g
This forms part of development
Permit # HRA12-0001

RECEIVED
MAY 01 2012
CITY OF MILWAUKEE
Development Services Department



NEW TOWN
ARCHITECTURE
URBAN PLANNING
1200 HANCOCK STREET
MILWAUKEE, WI 53233
TEL: 414.224.1111
WWW.NEWTOWNARCH.COM

DATE: 05/01/12
PROJECT: 1200 HANCOCK STREET
SCALE: AS SHOWN
DRAWN BY: [Name]
CHECKED BY: [Name]

DP3.02

PHASE TWO

SCHEDULE B8/A

This forms part of development
Permit # HRA12-0001

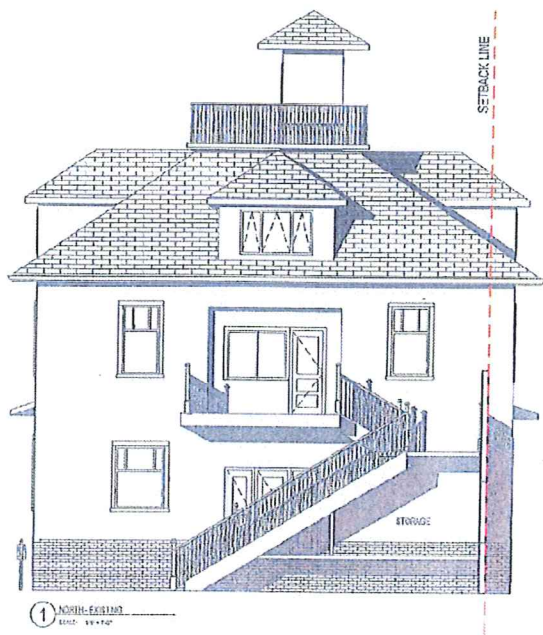
RECEIVED

10/10/12
CITY OF NEWTOWN
Development Services Department



SCHEDULE 39/19
 THIS FORM PART OF OVERCUTTING
 PERMIT # HKH12-0001

Cross Section View
 between Existing building
 & Phase 2 addition.



Notes:
 1. All work shall be in accordance with the provisions of the Building Code of the City of Columbia.
 2. All work shall be in accordance with the provisions of the Building Code of the City of Columbia.
 3. All work shall be in accordance with the provisions of the Building Code of the City of Columbia.
 4. All work shall be in accordance with the provisions of the Building Code of the City of Columbia.
 5. All work shall be in accordance with the provisions of the Building Code of the City of Columbia.
 6. All work shall be in accordance with the provisions of the Building Code of the City of Columbia.
 7. All work shall be in accordance with the provisions of the Building Code of the City of Columbia.
 8. All work shall be in accordance with the provisions of the Building Code of the City of Columbia.

- Materials:
- 1/2\"/>

PHASE TWO

CL. 100
 10000

NEW TOWN
 ARCHITECTURE
 URBAN PLANNING
 1410 PARKWAY STREET
 COLUMBIA, SC 29912
 www.newtownarch.com

Project:
 COPILAND HOUSE

Project: 3102

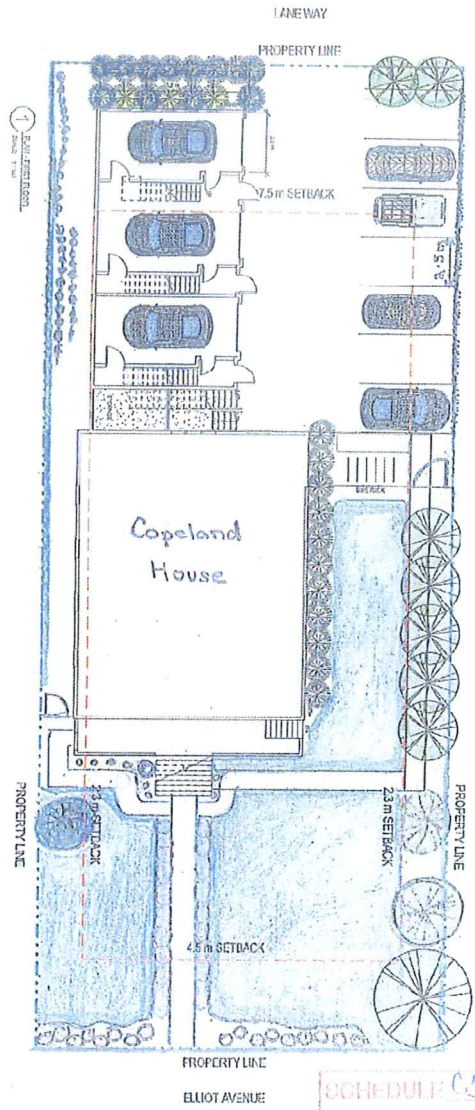
Phase: 02

ELEVATIONS - NORTH

Scale:	Original:	1/8" = 1'-0"
Author:		
Checker:		
Date:		

DP3.03

DATE: 2012-08-01



Copeland House Phase A

SCHEDULE C5/3
 This forms part of development
 Permit # H4412-0001

REPORT TO COUNCIL



Date: April 12, 2013
RIM No. 0940-40
To: City Manager
From: Land Use Management, Community Sustainability (BD)
Application: DP13-0013
Owner: Lipkovits Holdings Ltd., Inc.
No. BC0464466
Address: 320 Nickel Road
Applicant: Al Lipkovits
Subject: Development Permit
Existing OCP Designation: Multiple Unit Residential (Low Density)
Existing Zone: RM4 - Transitional Low Density Housing

1.0 Recommendation

THAT The Council authorizes the issuance of Development Permit No. DP13-0013 for Lot 7, Section 27, township 26, ODYD Plan 8839 located at 320 Nickel Road, Kelowna B.C., subject to the following:

- 1) The dimensions and siting of the building to be constructed on the land be in general accordance with Schedule "A";
- 2) The exterior design and finish of the building to be constructed on the land be in general accordance with Schedule "B";
- 3) Landscaping to be provided on the land be in general accordance with Schedule "C";
- 4) The applicant be required to post with the City, a Landscape Performance Security deposit in the form of a "Letter of Credit" in the amount of 125% of the estimated value of the landscaping, as determined by a professional landscaper;
- 5) That the Development Engineering and Black Mountain Irrigation District requirements must be completed prior to the issuance of a Building Permit.

AND FURTHER THAT the applicant be required to complete the above noted conditions within 180 days of Council's approval of the Development Permit Application in order for the permit to be issued.

2.0 Purpose

To consider a Development Permit for a 6 unit multi- residential development.

3.0 Land Use Management

The proposal is seen to meet the objectives and supporting policies of the Official Community Plan (OCP), as well as the applicable comprehensive design guidelines. The design incorporates many desired elements including visual interest, authentic expression, good architectural features and siting that respects the established neighbourhood rhythm. The subject property is located at the end of the Houghton Road multi-modal corridor close to many amenities, making it well suited for a townhouse form of development. The massing and scale of the development provides an appropriate transition from the existing multi-family units to the west and the single family dwellings to the east.

The building design is traditionally inspired featuring:

- horizontal siding,
- multiple roof pitches,
- good articulation,
- and shingle details in the eaves.

The majority of the units are accessed from the interior of the parcel allowing the on-site movements to be coordinated for functionality, and the road frontage incorporates a pedestrian friendly interface. Site landscaping uses drought tolerant vegetation and standard turf which complements the building design.

4.0 Proposal

4.1 Project Description

A single family dwelling is located on the subject property which is zoned for multiple residential developments. The applicant recently purchased the site, and plans to demolish the existing building and construct six unit multi-residential townhomes. The site has some constraints as it is long and narrow. The plan shows a single drive aisle entering the site from the south. The building as viewed from the street shows the narrow portion of a unit. This elevation is inviting and pedestrian friendly with a well emphasized entrance, multiple roof peaks and building articulation creating an interesting facade.

The other 5 units are accessed from the site's interior and feature a single car garage with a recessed entry door. The proposed garage door detailing add to the interior façade and increase the overall appeal of the elevation. The individual four bedroom townhomes are expected to fill the need for family housing in the area. Private outdoor patios and personalized garden areas are located outside of French doors of each unit, in addition to the grassed common space.

The colour palette proposed is a combination of taupe and slate tones in a Gentek siding. The landscape plan includes blossoming trees on the road frontage, plantings around the electrical box and small vegetated beds along the building. A natural wooden slatted fence is proposed for the non-street sides of the site. The driveway dominates the south side of the site with pavement, however small green spaces are provided in front of each unit.

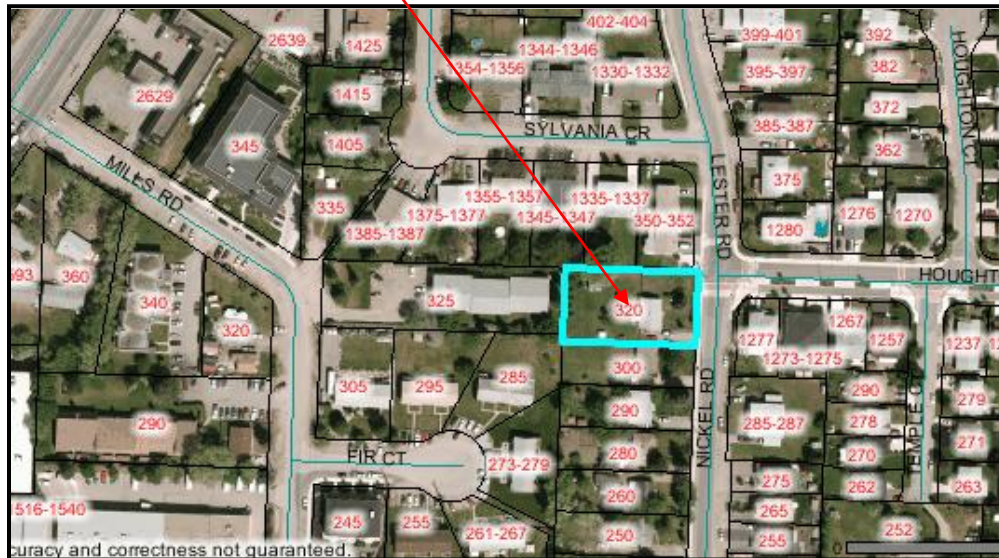
4.2 Site Context

The subject property is located at the end of the Houghton Road Multi-modal corridor nested half way between the Rutland and Midtown urban centers. It is in close proximity to various amenities including Ben Lee Park and the new Rutland transit exchange.

Specifically, adjacent land uses are as follows:

Orientation	Zoning	Land Use
North	RU6 - Two Dwelling Housing	Single Family residences
East	RU1 - Large Lot Housing	Single Family dwellings
South	RU1- Large Lot Housing	Single Family dwellings
West	RM3 - Low Density Multiple Housing	Two storey multiple family residential

4.3 Subject Property Map: 320 Nickel Road



4.4 Zoning Table

The project compares to Zoning Bylaw No. 8000 as follows:

Zoning Analysis Table		
CRITERIA	RM4 ZONE REQUIREMENTS	PROPOSAL
Existing Lot/Subdivision Regulations		
Lot Area	900 m ²	1809 m ²
Lot Width	30 m	31.7 m
Lot Depth	30 m	57.15 m
Development Regulations		
Floor Area Ratio	0.65	0.65
Number of units	N/A	6 units
Site Coverage - Buildings	50%	Building foot print: 545.2 m ² 30%
Site Coverage - Buildings and impermeable surfaces	60%	56%
Height	13 m or 3 storeys	8.62 m / 2 storeys

Front Yard	6.0 m except that it is 4.5m for any portion 2 storeys or less	4.5 m
Side Yard (south)	2.3 m (for 2 storeys or less)	4.6m
Side Yard (north)	2.3 m (for 2 storeys or less)	12.5 m
Rear Yard	7.5 m (for 2 storeys or less)	8.6 m
Other Regulations		
Minimum Parking Requirements	2 per 3 or more bedroom units 6 - 3 bedroom units: Total required 12 spaces	6 provided within the single vehicle garages with 1 per unit in front of the garage Total: 12 spaces
Bicycle Parking	For row houses with 3 or more units: Class 1: 0.5 per dwelling unit Class 2: 0.1 per dwelling unit Total required: 4	Rack for a minimum of 4 bicycles provided
Other Regulations		
Private Open Space	25m ² for any dwelling with more than 1 bedroom	meet requirements with the majority of the space provided with a private patio
Building frontage	No continuous building frontage shall exceed 65m for a 2 storey building	14.7m building frontage

Unit breakdown: 2 @ Unit A (191m² each) = 382 m²
4 @ Unit B (197m² each) = 788 m²

5.0 Current Development Policies

5.1 Kelowna Official Community Plan (OCP)

Development Process

Compact Urban Form.¹ Develop a compact urban form that maximizes the use of existing infrastructure and contributes to energy efficient settlement patterns. This will be done by increasing densities (approximately 75 - 100 people and/or jobs located within a 400 metre walking distance of transit stops is required to support the level of transit service) through development, conversion, and re-development within Urban Centres (see Map 5.3) in particular and existing areas as per the provisions of the Generalized Future Land Use Map 4.1.

Policy 5.23.1 - Ground-Oriented Housing.² Encourage all multi-unit residential buildings in neighbourhoods with schools and parks to contain ground-oriented units with 2 or more bedrooms to provide a family housing choice within multi-unit rental or ownership markets. High density residential projects in the Downtown area are encouraged to include a ground-oriented housing component, especially where such can be provided on non-arterial and non-collector streets.'

Comprehensive Development Permit Objectives:³

- Convey a strong sense of authenticity through urban design that is distinctive for Kelowna;
- Promote a high urban design standard and quality of construction for future development that is coordinated with existing structures;

¹ City of Kelowna Official Community Plan, Policy 5.2.3 (Development Process Chapter).

² City of Kelowna Official Community Plan, Development Process

³ OCP, Chapter 14 - DP guidelines

- Integrate new development with existing site conditions and preserve the character amenities of the surrounding area;
- Promote interesting, pedestrian friendly streetscape design and pedestrian linkages;
- Incorporate architectural features and detailing of buildings and landscapes that define an area's character;
- Mitigate the actual and perceived bulk of buildings by utilizing appropriate massing including architectural elements, visually-interesting rooflines, wall projections and indentations;
- Incorporate decks, balconies, and common outdoor amenity spaces into developments;
- Incorporate landscaping that adds texture and three dimensional components to the site.

6.0 Technical Comments

6.1 Building & Permitting Department

1) Demolition Permits required for any structures prior to them being taken down.

2) Development Cost Charges (DCC's) are required to be paid prior to issuance of any Building Permit(s) for new construction

3) This property falls beside the Mill Creek flood plain bylaw area and compliance within the area is required. The Developer should be made aware of the minimum building elevations on the neighbouring property since it may affect his development in the future since this proposal has a basement. This building may be designed to low, which may affect the form and character of the building at this area is redeveloped.

4) A code analysis is required for the structure at time of building permit applications.

5) Full Plan check for Building Code related issues will be done at time of Building Permit applications.

6.2 Development Engineering Department

See attached.

6.3 Black Mountain Irrigation District

See attached.

6.4 Fire Department

Fire department access, fire flows, and hydrants as per the BC Building Code and City of Kelowna Subdivision Bylaw #7900. The Subdivision Bylaw requires a minimum of 150ltr/sec flow for row housing. The access road is to be a minimum of 6M in width with no parking signs provided along the roadway. Additional comments will be required at the building permit applications.

6.5 Ministry of Transportation infrastructure

This Ministry has no objection to the above-noted application.

7.0 Application Chronology

Date of Application Received: January 16, 2013
Application Refinement: April 16, 2013

Report prepared by:

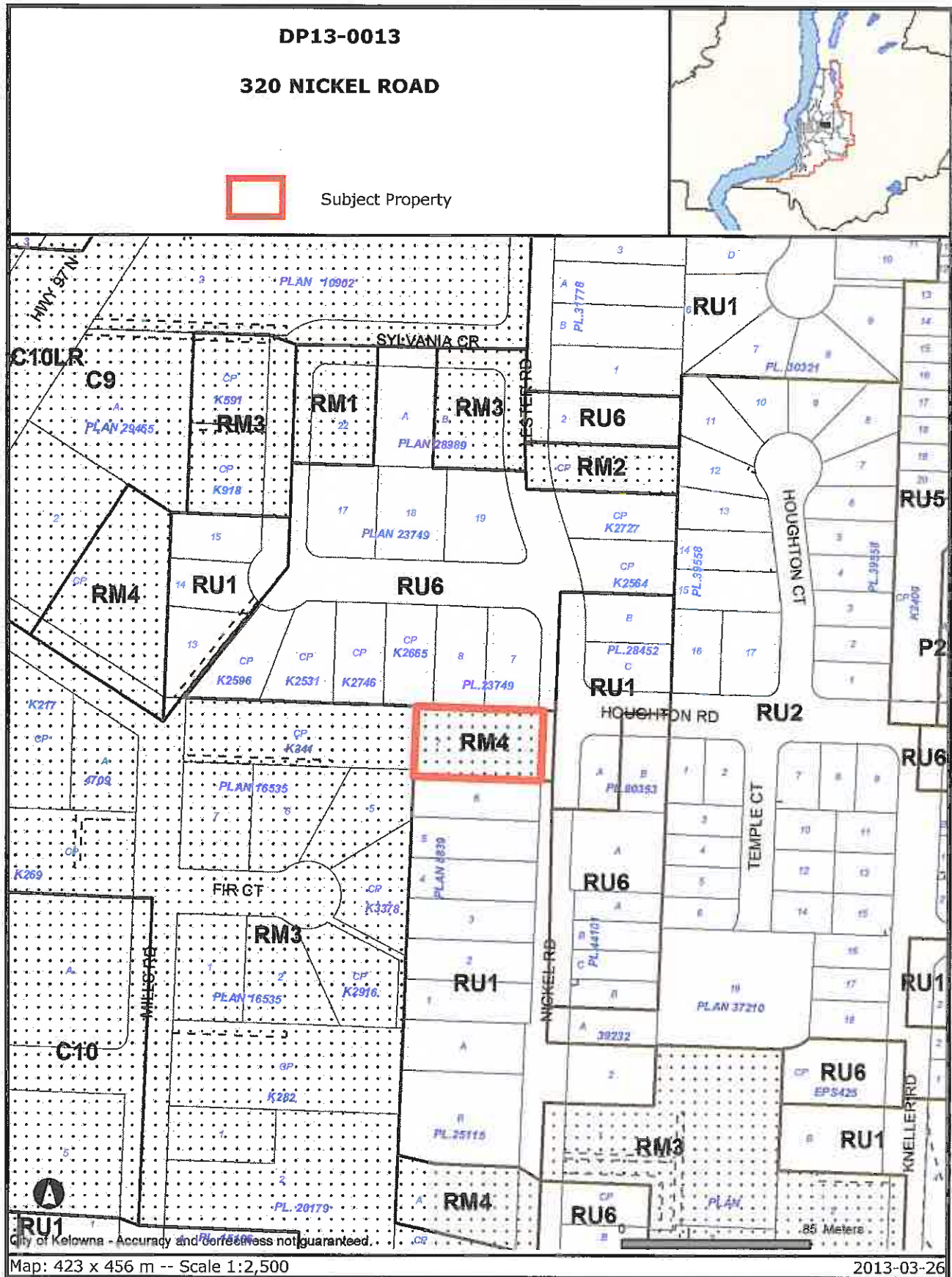
Birte Decloux, Urban Land Use Planner

Reviewed by: Danielle Noble, Manager, Urban Land Use

Approved for Inclusion: Doug Gilchrist, Acting General Manager, Community Sustainability

Attachments:

Site Plan
Conceptual Elevations
Landscape Plan
Context/Site Photos
Sustainability Checklist
Summary of Technical Comments



Certain layers such as lots, zoning and dp areas are updated bi-weekly. This map is for general information only.
The City of Kelowna does not guarantee its accuracy. All information should be verified.

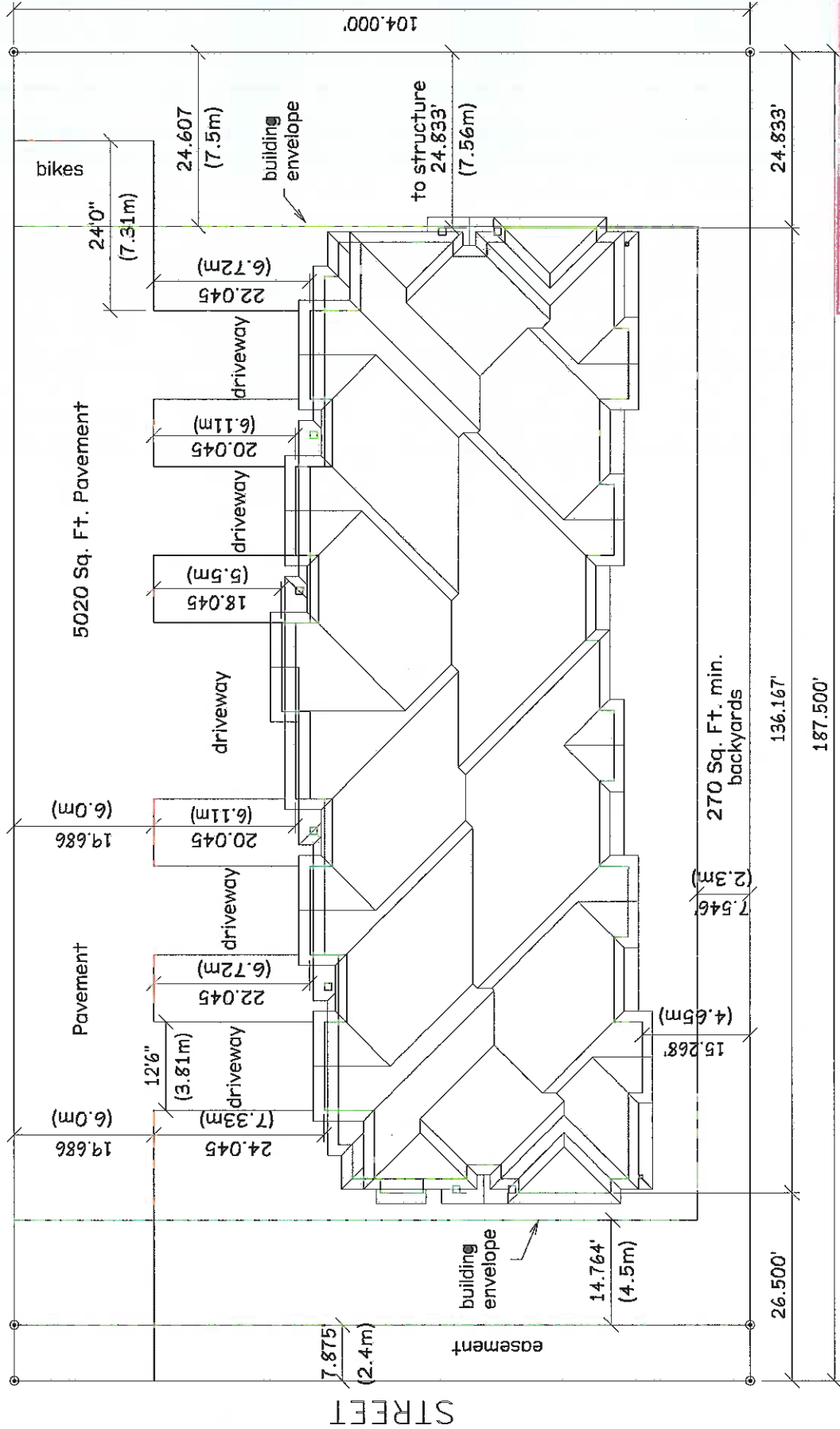
REVISED PLANS

APR 17 2013

CITY OF KELOWNA
Land Use Management

19500 Sq. Ft. Original Lot
9750 Sq. Ft. Coverage max.
Building only = 50%
Proposed Building 5881 Sq. Ft. or 30%

11700 Sq. Ft. coverage max.
Buildings and Driveway = 60%
10901 Sq. Ft. Coverage
Buildings and Driveway = 56%

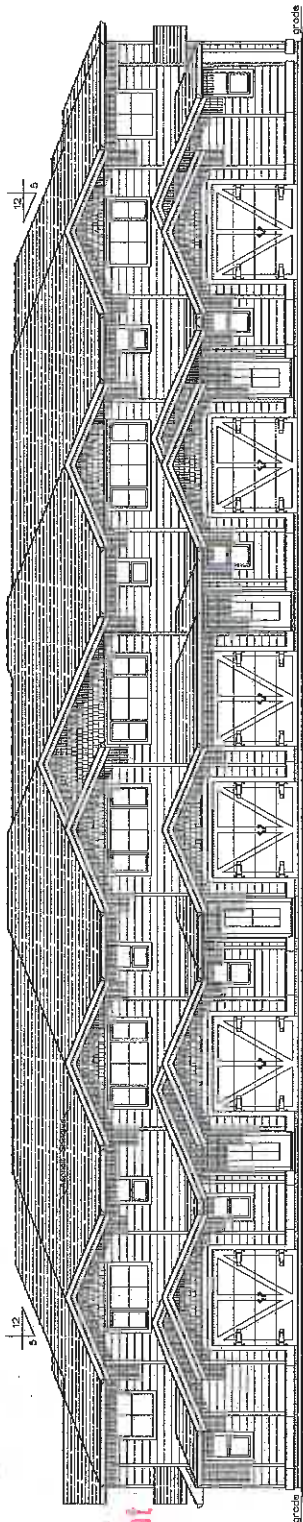


SCHEDULE A
This forms part of the permit
Permit # DP13-0013

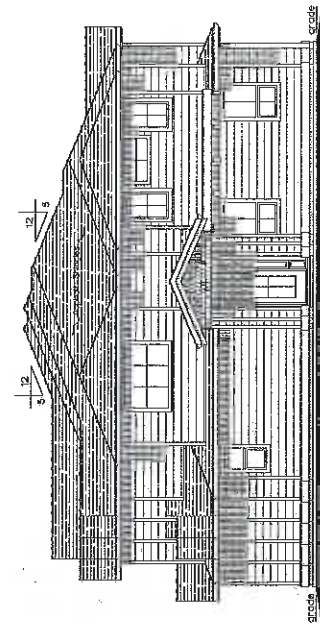
REVISED PLANS

APR 16 2013

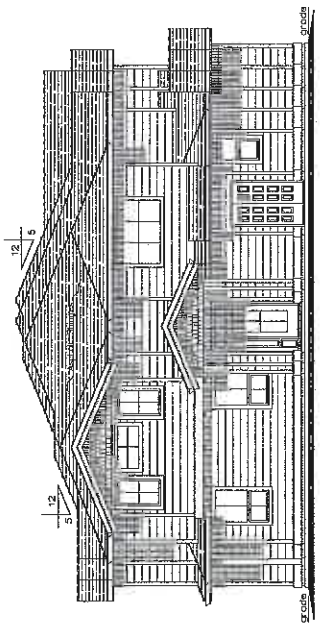
CITY OF KELOWNA
Land Use Management



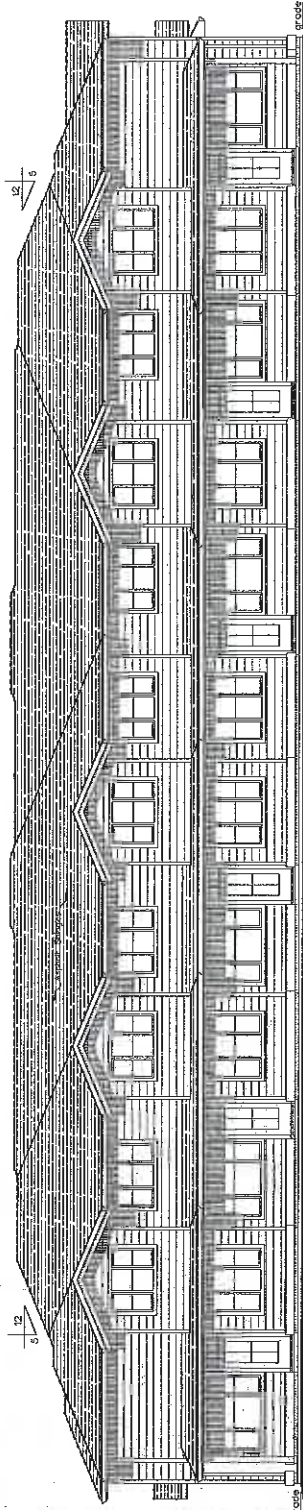
FRONT ELEVATION scale = 1/4" = 1' 0"



RIGHT ELEVATION scale = 1/4" = 1' 0"



LEFT ELEVATION scale = 1/4" = 1' 0"



REAR ELEVATION scale = 1/4" = 1' 0"

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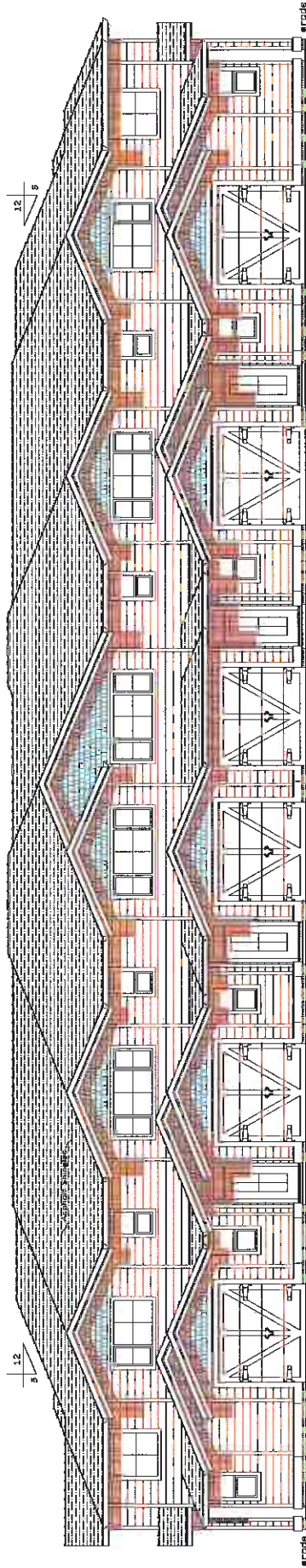
DESIGNER	DESIGNER
DATE	DATE
SCALE	SCALE
PROJECT	PROJECT
NO.	NO.
6 of 6	

SCHEDULE B1/4
This forms part of development
Permit # DP13-0013

REVISED PLANS

MAR 26 2013

CITY OF KELOWNA
Land Use Management



Internal Elevation

SCHEDULE 62/4

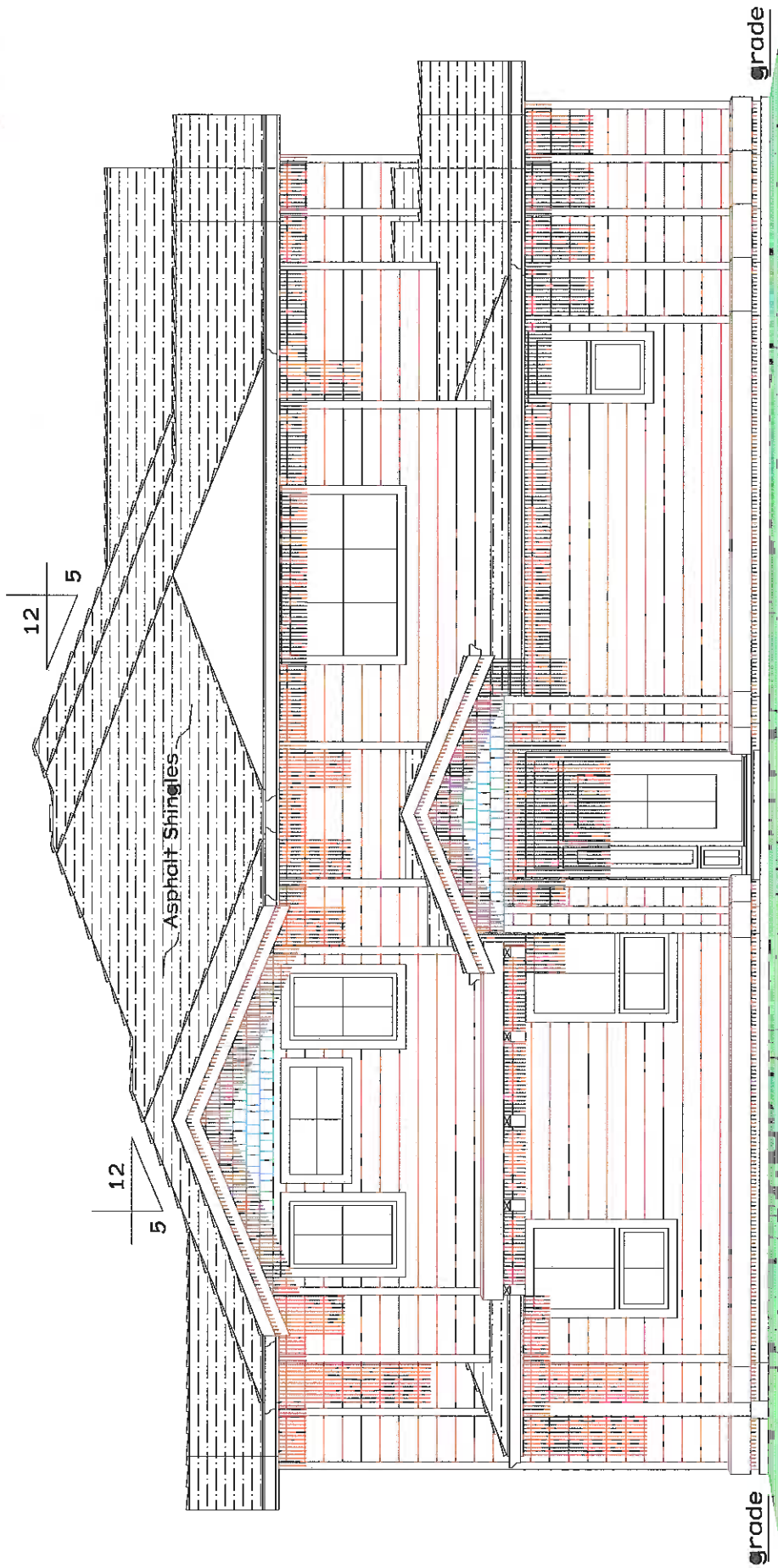
This forms part of development

Permit # DPI3-0013

REVISED PLANS

MAR 26 2013

CITY OF KELOWNA
Land Use Management



FRONT ELEVATION

SCHEDULE 83/4

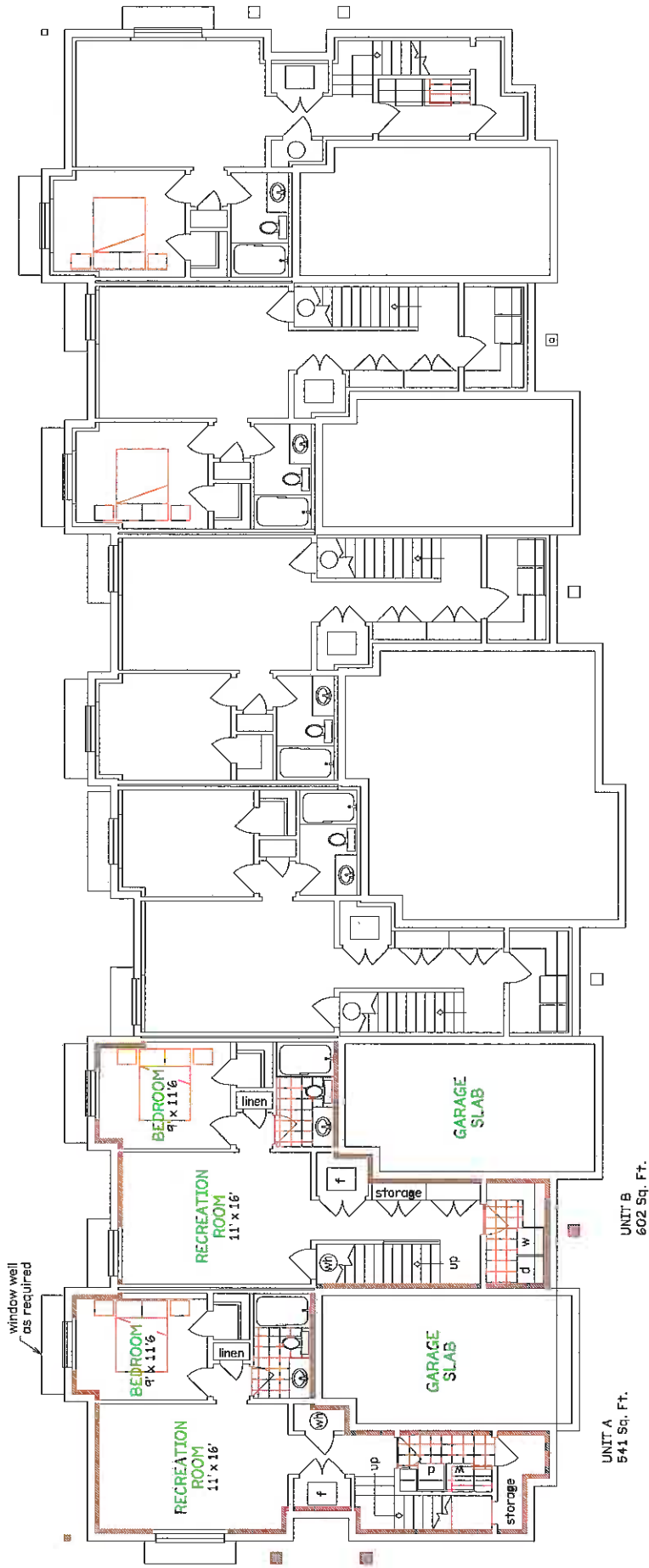
This forms part of development

Permit # DP13-0013

REVISED PLANS

MAR 26 2013

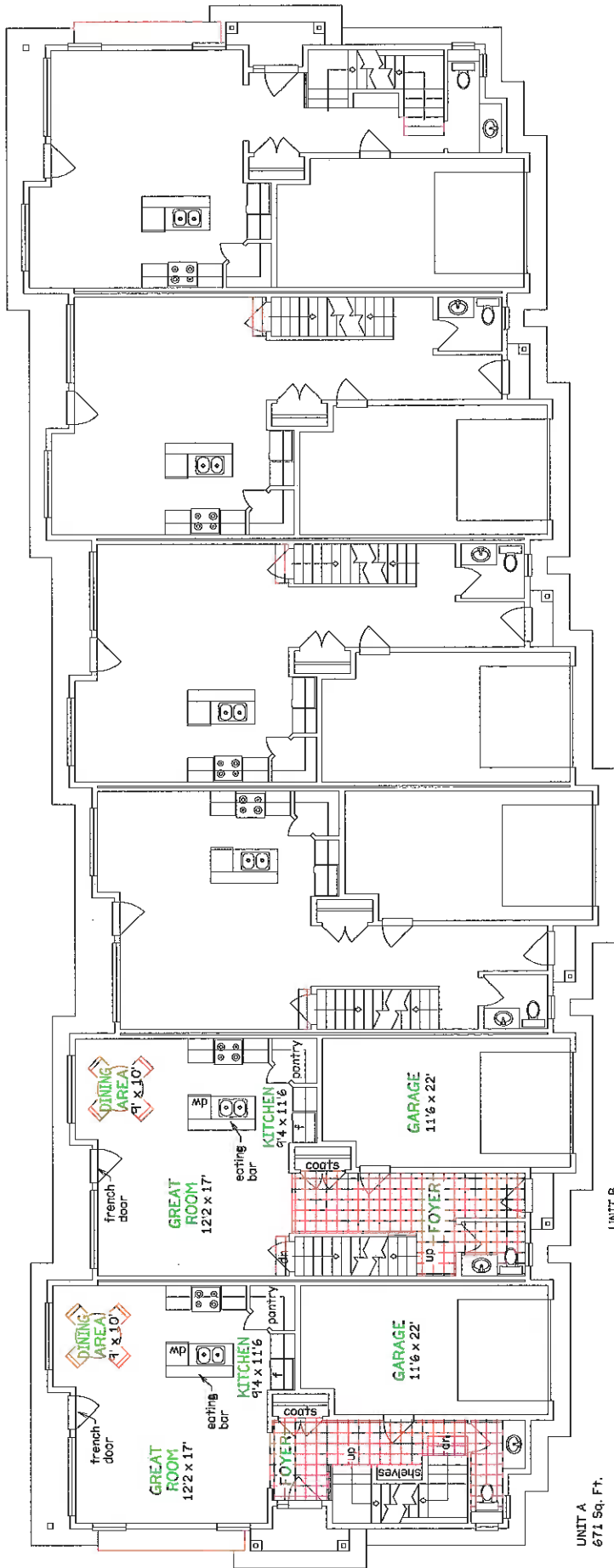
CITY OF KELOWNA
Land Use Management



REVISED PLANS

MAR 26 2013

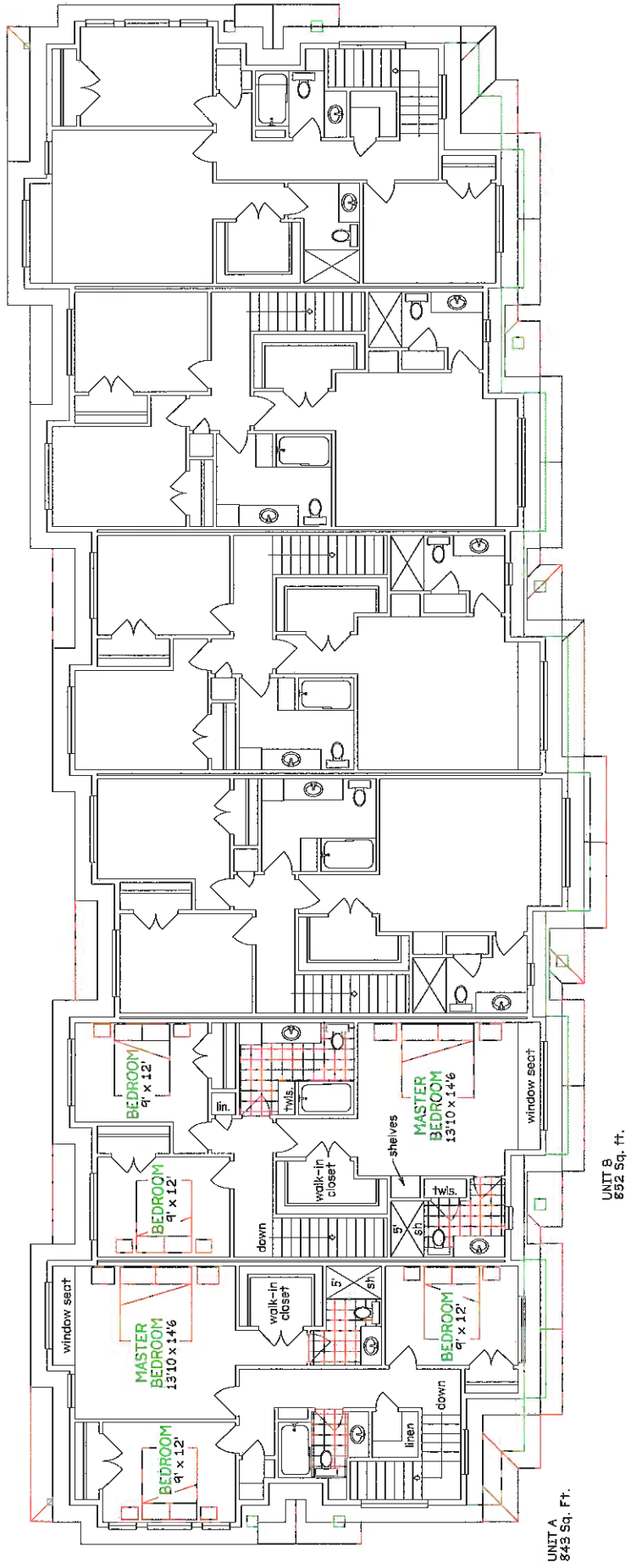
CITY OF KELOWNA
Land Use Management



REVISED PLANS

MAR 26 2013

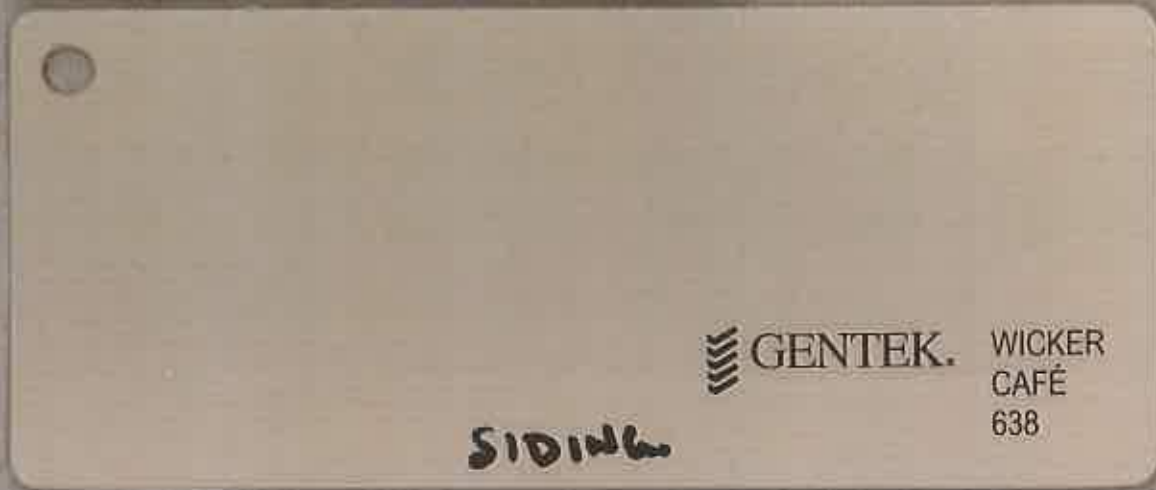
CITY OF KELOWNA
Land Use Management




320 NICKEL EXTERIOR COLOR BOARD



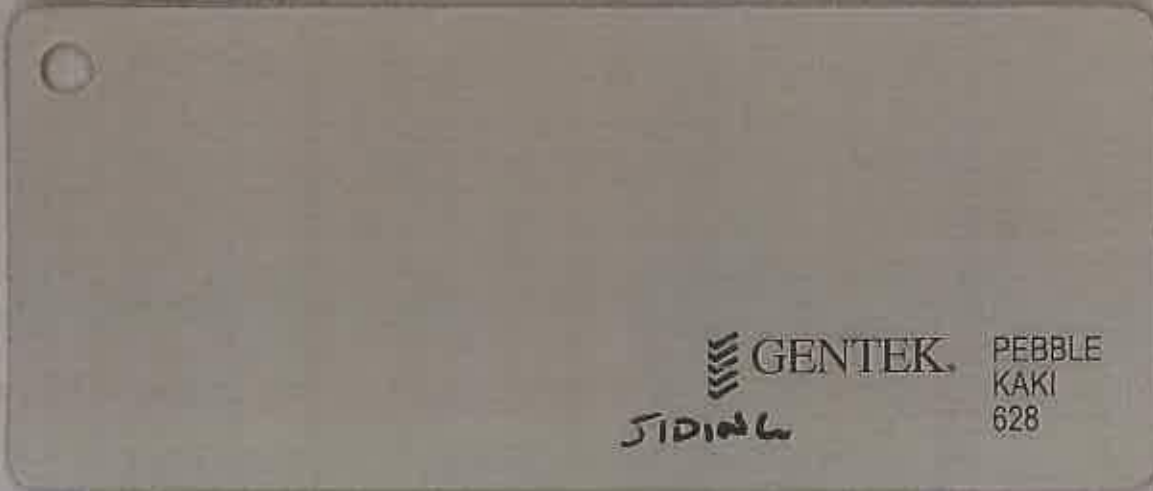
ROOF:
CANADIAN
DRIFTWOOD




SIDING

 GENTEK. WICKER
CAFÉ
638

SIDING




SIDING

 GENTEK. PEBBLE
KAKI
628

SIDING



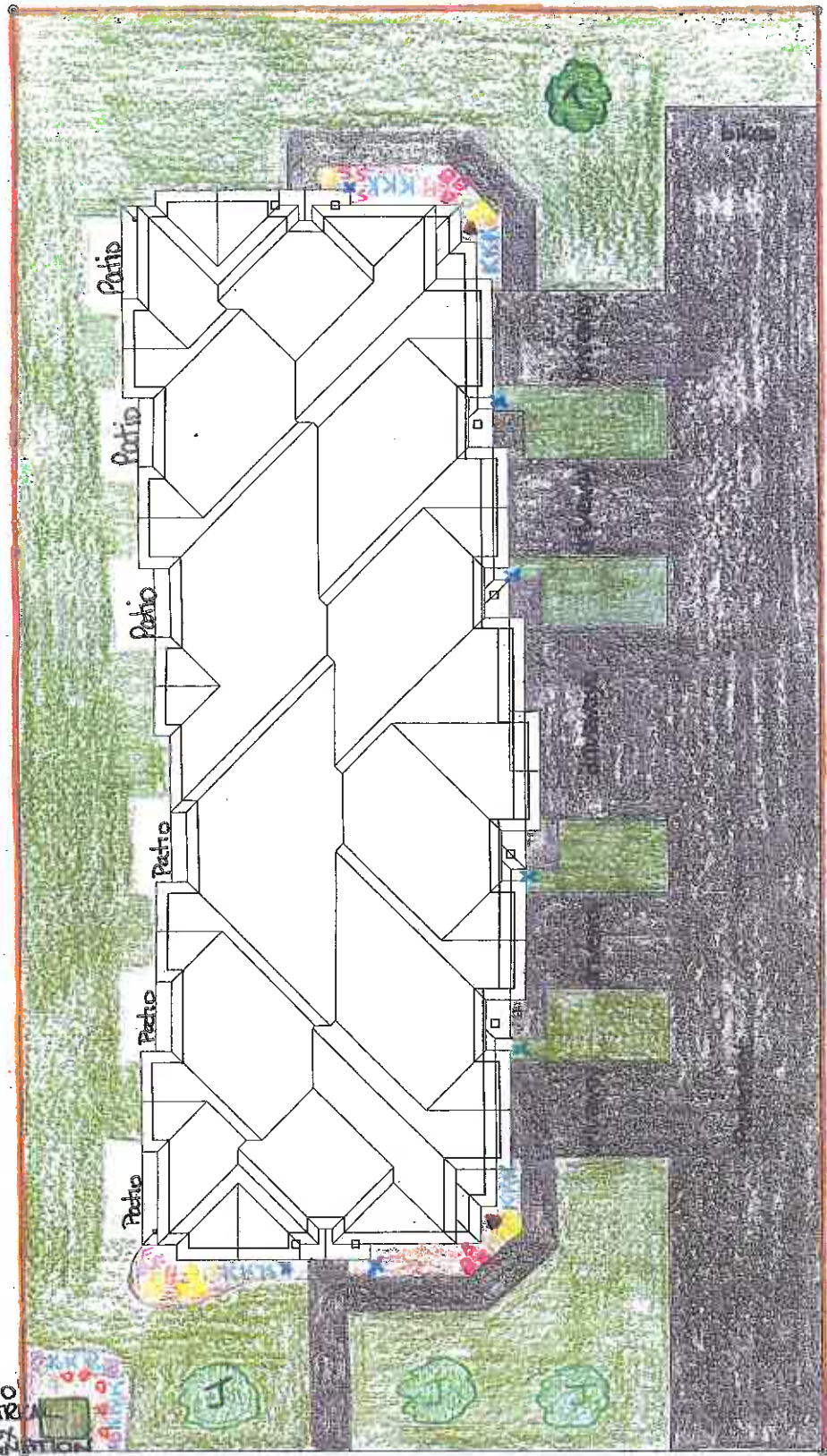
GUTTERS, TRIM
& SOFFIT

 GENTEK. SLATE
CHARBON
523
GUTTER, SOFFIT
& TRIM.

SCHEDULE B/A
This forms part of development
Permit # DP13-0013 111

- K Calamagrostis "Karl Foerster"
- ▲ Sambucus Black Beauty
- H Hydrangea Paniculata
- F Slawmound Mugo Pine
- Goldstorm Cone Flower (Rudbeckia)
- B Heartleaf Bergenia
- S Sedum "Autumn Joy"
- X "Skyrocket" Juniper
- KS Royal Burgandy Borage
- Berberis thunbergii 'Atropurpurea'
- F Aster Frikartii
- D Daylily
- T Katsura Tree
- J Ivory Silk Japanese Lilac

— 5' Fence



10'x10' ELECTRICAL BOX DESIGNATION

LANDSCAPE PLAN scale = 1/8" = 10"

(this drawing is a "mirror" image of what is being prepared)

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SCHEDULE C
 This forms part of development
 Permit # DP13-0013

CITY OF KELOWNA
MEMORANDUM

FILE COPY

Date: April 15, 2013
File No.: DP13-0013
To: Land use Management (BD)
From: Development Engineer Manager (SM)
Subject: 320 Nickel Road, Lot 7, plan 8839, Section 27 Township 26, ODYD.

The Development Engineering comments and requirements regarding this application are as follows:

1. Subdivision

- a) Dedicate a 2.4 M. along the frontage of Nickel Road to create a full 20.0 m. Road right of way.
- b) Provide easement as may be required.

2. Geotechnical Study.

A comprehensive Geotechnical Study is required (3 reports), which is to be prepared by a Professional Engineer competent in the field of geotechnical engineering, the study is to address the following:

- a) Overall site suitability for development.
- b) Presence of ground water and/or springs.
- c) Presence of fill areas.
- d) Presence of swelling clays.
- e) Presence of sulfates.
- f) Potential site erosion.
- g) Provide specific requirements for footings and foundation construction.

3. Domestic water and fire protection.

This development is within the service area of the Black Mountain Irrigation District (BMID). The developer is required to make satisfactory arrangements with the BMID for these items. All charges for service connection and upgrading costs are to be paid directly to the BMID. The developer is required to provide a confirmation that the district is capable of supplying fire flow in accordance with current requirements for the proposed development.

.../2

A watermeter is mandatory as well as a sewer credit meter to measure all the irrigation water. Watermeters must be housed in an above-ground, heated, accessible and secure building, either as part of the main site buildings or in a separate building. Remote readers units are also mandatory on all meters.

4. Sanitary Sewer.

- a) The subject property is serviced by the Municipal wastewater collection system and is located within specified area Specified Area #1.
- b) Should a new sanitary service, sized to accommodate the proposed development be required; the redundant 100 mm. diameter service must permanently disconnected. The cost of disconnecting the old service and installing a new service will be determined when an application for the new service is made by the applicant to the City of Kelowna.

5. Drainage.

A comprehensive site drainage management plan and design to comply with the City's drainage design and policy manual, is a requirement of this application. The drainage study should indicate the size and location of the ground recharge system.

6. Power and Telecommunication Services.

The services to this development are to be installed underground. It is the developer's responsibility to make a servicing application to the respective utility companies. The utility companies are then required to obtain the city's approval before commencing their works.

7. Road improvements.

a) Nickel Road

The frontage of Nickel Road is partially urbanized with a sidewalk. The applicant is responsible for the completion of an urban frontage complete with curb & gutter, asphalt fillet paving and/or relocation of utilities as may be required, etc. The estimated cost for this work, for bonding purpose, would be **\$12,300.00**, inclusive of a bonding contingency (Utility poles relocation not included).

b) Multi-family sidewalk crossing

The existing sidewalk at the proposed access does not meet multi-family standard. The applicant is required to remove and reconstruct the access portion of the sidewalk to 150mm. thickness and reinforced as per the City of Kelowna standards. The estimate cost for this work, for bonding purpose, would be **\$3,900.00**, inclusive of a bonding contingency.

.../3

8. Access.

The proposed access is hindered by an existing power pole and guide wires located partly within the access which would make the right-in ingress challenging. The power pole also effectively reduce the access overall width. In addition, nearly one half of the proposed driveway will be located in line with the existing cross-walk; creating a conflict with the pedestrian traffic. It is highly recommended that the development be mirrored in order to provide the access along the southerly property line. The power pole cannot be moved due to the fact that it lines-up directly with the existing power line on Houghton Road.

9. Design and Construction.

- a) Design, construction supervision and inspection of all off-site civil works and site servicing must be performed by a Consulting Civil Engineer and all such work is subject to the approval of the City Engineer. Drawings must conform to City standards and requirements.
- b) Engineering drawing submissions are to be in accordance with the City's "Engineering Drawing Submission Requirements" Policy. Please note the number of sets and drawings required for submissions.
- c) Quality Control and Assurance Plans must be provided in accordance with the Subdivision, Development & Servicing Bylaw No. 7900 (refer to Part 5 and Schedule 3).
- d) A "Consulting Engineering Confirmation Letter" (City document 'C') must be completed prior to submission of any designs.
- e) Before any construction related to the requirements of this subdivision application commences, design drawings prepared by a professional engineer must be submitted to the City's Works & Utilities Department. The design drawings must first be "Issued for Construction" by the City Engineer. On examination of design drawings, it may be determined that rights-of-way are required for current or future needs.

10. Servicing Agreements for Works and Services.

- a) A Servicing Agreement is required for all offsite works and services on City lands in accordance with the Subdivision, Development & Servicing Bylaw No. 7900. The applicant's Engineer, prior to preparation of Servicing Agreements, must provide adequate drawings and estimates for the required works. The Servicing Agreement must be in the form as described in Schedule 2 of the bylaw.
- b) Part 3, "Security for Works and Services", of the Bylaw, describes the Bonding and Insurance requirements of the Owner. The liability limit is not to be less than \$5,000,000 and the City is to be named on the insurance policy as an additional insured.

.../4.

11. Other Engineering Comments.

- a) Provide all necessary Statutory Rights-of-Way for any utility corridors required, including those on proposed or existing City Lands.
- b) If any road dedication affects lands encumbered by a Utility right-of-way (such as Terasen, etc.) please obtain the approval of the utility prior to application for final subdivision approval. Any works required by the utility as a consequence of the road dedication must be incorporated in the construction drawings submitted to the City's Development

12. DCC Credits.

None of the required improvements qualify for DCC credit consideration, as these upgrades are not identified in the current DCC schedules.

13. Bonding and Levies Summary.

a) Performance Bonding

Nickel Road frontage upgrading	\$ 12,300.00
--------------------------------	---------------------

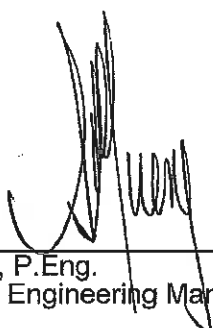
Note that the applicant is not required to do the construction. The construction can be deferred and the City will initiate the work later at its own construction schedule, the cash-in-lieu cost would be reduced to **\$7,300.00**.

Sidewalk upgrade for multi-family	<u>\$ 3,900.00</u>
-----------------------------------	---------------------------

TOTAL SECURITY	<u>\$ 14,900.00</u>
----------------	----------------------------

b) levies

3 % Inspection and administration fee (incl. GST)	<u>\$ 315.00</u>
---	-------------------------



Steve Muenz, P.Eng.
Development Engineering Manager

BB

Heather Benmore

FILE COPY

From: Bob Hrasko [rhrasko@shaw.ca]
Sent: Friday, February 08, 2013 8:09 AM
To: Heather Benmore
Cc: alipkovits@shaw.ca; 'Trena Phillips'; kevinrburtch@shaw.ca
Subject: DP13-0013 - 320 Nickel Road - BMID Comments regarding water supply

Heather

Please find below comments regarding water servicing of the proposed townhouse development at 320 Nickel Road. The applicant has been provided with these requirements.

Requirements for water servicing from Black Mountain Irrigation are as follows:

1. **Overall System Capacity:** BMID has sufficient capacity to service the proposed development. Strength and capacity of the water distribution system in the area of the proposed development is adequate for typical developments of this nature. Off-site (in public right-of-way) improvements are not expected unless fire demands are excessive;
2. **Fire Flow Capacity:** A Fire Underwriters Survey (FUS) fire flow demand estimate is required for the development. It is to be prepared, signed and sealed by a Professional Engineer registered and insured to practice within BC. An assessment of fire hydrant coverage to this site is also to be provided by the Engineer and submitted to our office. If flows are above 150 L/s, sprinkler protection should be considered to reduce fire flow demand. If modeling of the distribution system is required by the fire department for this development, documentation of the computer check of system analysis will be provided by BMID;
3. **Service Lines to Units:** BMID requires individual connections, individual utility billing accounts, and property line shut-offs for each of the six units. The current 25mm diameter connection is inadequate for the development units. This existing service must be excavated at the main with BMID Operations staff present, and then the main stop valve must be shut and the old service severed from the main to avoid future damage. A new single 50mm service is to be live tapped into the existing 200mm PVC main, complete with saddle to City-wide standard, and the 50mm service line is to be brought to property line. The existing 200mm main is on the close side of the road so a road crossing is not required. The developer and their contractor is responsible for all utility locates. At the property line a header pipe is to split to the separate service lines with 6 curb stops at the property line;
4. **Water Metering:** Water meters are to be installed in each of the 6 units where water enters the building units. The supply and install cost is \$383.55 per meter for a total of **\$ 2,301.30**. The meters are installed by Corix Utilities who supply and install the meter and remote read wiring from the meter to the building exterior;
5. **Connection Fees:** Six separate services and accounts are to be set up for this development. As per BMID Bylaw 667, the charge is \$300 per unit to cover administrative and operational set up costs. The total cost for six units is **\$1,800.00**;
6. **Capital Expenditure Charges:** The CECs cover the costs to replace the reduction of overall water system capacity as per BMID Bylaw 678. This includes water reservoirs, transmission mains, water treatment plant and dams. The applicant receives one Single family unit credit for the existing home in the amount of \$4,500. The total cost is \$3,600/unit x 6 = \$21,600 subtract the \$4,500 = **\$17,200**;
7. **Fee Payment:** All fees are payable prior to BMID issuing a Water Service Certificate (Water Letter) to the City. The process for payment is for the applicant/owners representative to come into the BMID office, fill out the *Application for Building* form identifying all charges, payment of fee and then BMID will issue the Water Letter;
8. **Construction:** All work on public road right-of-way regarding connection to water distribution mains is to be coordinated with the BMID Operations Superintendent, Kevin Burtch, contact at (250) 868-7096;

Please contact us directly if you have questions on any of the above items.

Thank you

Bob

Bob Hrasko, P.Eng.

Administrator

Black Mountain Irrigation District

285 Gray Road

Kelowna, BC

V1X 1W8

Phone (250) 765-5169



Land Use Management
 1435 Water Street
 Kelowna, BC V1Y 1J4
 250 469-8626
 kelowna.ca/landuse
 sustainability@kelowna.ca

Sustainability Checklist

Commercial or Multi-unit Development
 (no Rezoning)

Project Name or Location 320 NICKEL RD

Applicant Name ALLAN LIPKOVITS

Organization _____

ECONOMIC SUSTAINABILITY

	Score	Points
Proximity to Urban or Village Centre (IF APPLICABLE, SELECT ONE FROM LIST)		
<input type="checkbox"/> Less than 400 metres (1-4 minute walk)		5
<input checked="" type="checkbox"/> 400 - 800 metres (5-10 minute walk)		4
<input type="checkbox"/> 800- 1200 metres (10-15 minute walk)		3
<input type="checkbox"/> 1200-2400 metres (15- 30 minute walk)		2
Development Will Create Long-term Permanent Employment beyond Construction Phase, to a maximum of 5 jobs		2-5
Building uses: (IF APPLICABLE, SELECT ONE FROM LIST)		
<input type="checkbox"/> 3 or more uses (ie. Office space, retail & residential)		3
<input type="checkbox"/> 2 uses or types of residential (ie. retail & residential or townhouse & low-rise apartments)		2
Employs local contractors (some, most or all) during construction		2-5
Construction products and supplies sourced within the region		1-2
SUBTOTAL		20

ENVIRONMENTAL SUSTAINABILITY

	Score	Points
Green Building Certification being sought		
<input type="checkbox"/> LEED		5
<input type="checkbox"/> BuiltGreen, Green Globe or other (please specify) _____		3
Recycled Materials used in Building Construction		2

Green Space

Environmentally-Sensitive Areas Permanently Protected (through a covenant, park dedication, etc.)		2-5
<i>or</i>		
No Disruption of an Environmentally Sensitive Area		5
Design includes Shared Green Space (ie. Rooftop garden, community garden)		2-3
Environmentally-Sensitive Areas Protected during construction phase (ie. Fenced)		2
<i>or</i>		
No Environmentally Sensitive Area to protect		
Redevelopment of a Brownfield Site (existing development site)		2
Waste Management Plan		2

Air Quality

Proximity to Transit Stop (IF APPLICABLE, SELECT ONE FROM LIST)		
<input type="checkbox"/> Less than 400 metres (1-4 minute walk)		5
<input checked="" type="checkbox"/> 400 - 800 metres (5-10 minute walk)		4
<input type="checkbox"/> 800- 1200 metres (10-15 minute walk)		3
<input type="checkbox"/> 1200-2400 metres (15- 30 minute walk)		2
Co-op Car(s) or Transit Passes for Building Occupants (secured through an agreement)		2
Natural Ventilation (ie. Windows that open)		2

Safe & Accessible Bicycle Storage Facilities		2
Trees planted on the site beyond zoning requirements (not including any replacement trees)		
<input type="checkbox"/> 1-5 trees		1
<input type="checkbox"/> 5 +		2
No Fast Food Drive Thru facilities		1

Water Quality & Quantity

Recycling of grey water		4
50% of area outside of permitted site coverage is permeable or unpaved surface		2
Hydrogeological Assessment Completed (for the protection and management of groundwater and surface water)		
or		2
Hydrogeological Assessment Not Applicable		
Irrigation system employs conservation technology (ie. Drip irrigation)		
or		2
No irrigation system required for landscaping		
Rainwater collection		
or		2
Water conservation beyond building code requirements		
Xeriscaping for water conservation		
or		2
Landscaping with indigenous vegetation (drought resistant)		

Energy Conservation

Renewable Energy Source(s) for Building, such as geo-thermal, solar photovoltaic, air pumps, etc. Please Specify:		2-4
Building Orientated and/or Designed to Maximize Energy Savings		2
Low Energy Windows Installed throughout Building(s)		2
Pre-Heating Water Energy Technology to be Employed		2
Energy Efficient Features (lighting, appliances, etc.)		1
SUBTOTAL		60

SOCIAL SUSTAINABILITY

	Score	Points
Site 1200 metres or less (15 minute walk) to:		
▶ Daycare/School		2
▶ Medical Facilities		2
▶ Parks		2
▶ Shopping		2
▶ Restaurant/Café		2
Housing Agreement for Affordable Housing, Purpose Built Rental Development or Housing Includes Secondary Suite(s)		5
Provides indoor or Outdoor Social/Recreational Amenity (i.e. community meeting place, dog park, public community garden, etc.). Please Specify:		2-3
Designed According to Crime Preventions Through Environmental Design (CPTED) Principles (staff can provide document)		2
SUBTOTAL		20

CULTURAL SUSTAINABILITY

	Score	Points
Voluntary Streetscaping Improvements, such as benches, planters, or lighting upgrades		2-4
City Design Guidelines & Staff Comments Addressed in Project Design		1-3
Heritage Site Identified and Recommendations for Conservation Followed		1-3
or		
No Disturbance to a Heritage Site/No Heritage Site		3

Public Art Provision <i>or</i> Significant Public Amenity (i.e. covered walkway, fountain, etc.) Please Specify: _____		1-3
Connectivity from site to Parks, Bike Paths, Pedestrian Walkways, or Local Amenities (shops, medical centre, etc.)		2
SUBTOTAL		15

BONUS

	Score	Points
Other Sustainability Measure(s), including but not limited to: <ul style="list-style-type: none"> ▶ Rehabilitation of a Natural Feature (i.e. wetland); Green Roof; Accessible Design Beyond Building Code; Child-Friendly Design. Please provide details below		1-10
ECCONMIC SUBTOTAL		20
ENVIRONMENTAL SUBTOTAL		60
SOCIAL SUBTOTAL		20
CULTURAL SUBTOTAL		15
TOTAL		125

ADDITIONAL DETAILS

Thank you for taking the time to complete the City of Kelowna Sustainability Checklist. Once you have completed the checklist, please email it to sustainability@kelowna.ca or drop it off on the 2nd floor of City Hall.

Thank you.

REPORT TO COUNCIL



Date: March 26, 2013
RIM No. 1250-30
To: City Manager
From: Land Use Management, Community Sustainability (BD)
Application: Z10-0044 **Owner:** Nathan Morden
Address: 120 Homer Road **Applicant:** Nathan Morden
Subject: Rezoning Application, Extension Request
Existing Zone: RU1 - Large Lot Housing
Proposed Zone: RM1 - Four Dwelling Housing

1.0 Recommendation

THAT in accordance with Development Application Procedures Bylaw No. 10540, the deadline for the adoption of Amending Bylaw No. 10403 (Z10-0044) to amend the City of Kelowna Zoning Bylaw No. 8000 by changing the zoning classification of Lot 13 Section 27 Township 26 ODYD Plan 14897, except Plan 39705, located at 120 Homer Road, Kelowna BC, be extended from March 21, 2013 to March 21, 2014.

2.0 Purpose

To extend the deadline for adoption of the Zone Amending Bylaw from March 21, 2013 to March 21, 2014.

3.0 Land Use Management

Section 2.12.1 of Procedure Bylaw No. 10540 states that:

In the event that an application made pursuant to this bylaw is one (1) year old or older and has been inactive for a period of six (6) months or greater:

- a) The application will be deemed to be abandoned and the applicant will be notified in writing that the file will be closed;
- b) Any bylaw that has not received final adoption will be of no force and effect;
- c) In the case of an amendment application, the City Clerk will place on the agenda of a meeting of **Council** a motion to rescind all readings of the bylaw associated with that Amendment application.

Section 2.12.2 of the Procedure Bylaw makes provision that upon written request by the applicant prior to the lapse of the application, **Council** may extend the deadline for a period of twelve (12) months by passing a resolution to that affect.

By-Law No. 10403 received second and third readings on September 21, 2010 after the Public Hearing held on the same date. The applicant wishes to have this application remain open for an additional twelve (12) months in order to from the current deadline to allow for more time to finance the outstanding requirements, including Development Engineering and Building & Permitting. This project remains unchanged and is the same in all respects as originally applied for.

In our report dated October 5, 2012, the Land Use Management Department noted we would not support any further extension requests as this application was originally generated through a Bylaw Enforcement action and prolonged non-compliance would not be permitted. However, the applicant has since begun to pay the required fees in order to move the application forward, and the Land Use Management Department is agreeable to one last extension for a further twelve (12) months.

The Land Use Management Department recommends Council consider the request for an extension favourably.

Report prepared by:

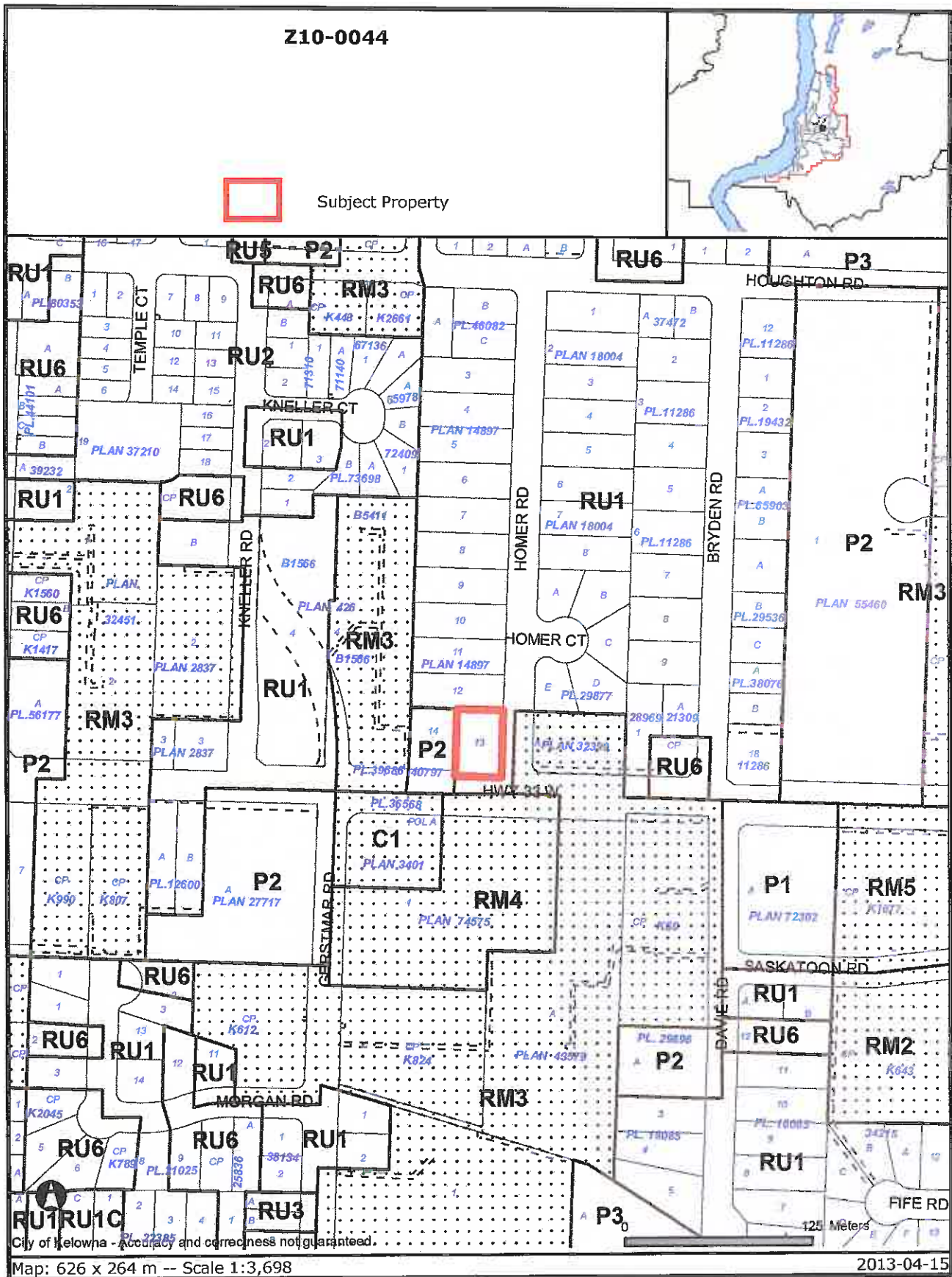
Birte Decloux, Land Use Planner
/hb

Reviewed by: Danielle Noble, Manager, Urban Land Use

Approved for Inclusion Doug Gilchrist, Acting General Manager, Community Sustainability

Attachments:

Site Plan



Certain layers such as lots, zoning and dp areas are updated bi-weekly. This map is for general information only.
 The City of Kelowna does not guarantee its accuracy. All information should be verified.

Section 2.12.2 of the Procedure Bylaw makes provision that upon written request by the applicant prior to the lapse of the application, **Council** may extend the deadline for a period of twelve (12) months by passing a resolution to that affect.

By-Law No. 10544 received second and third readings on June 1, 2011 after the Public Hearing held on the same date. The applicant wishes to have this application remain open for an additional twelve (12) months in order to address the outstanding conditions of final adoption. This project remains unchanged and is the same in all respects as originally applied for.

The Land Use Management Department recommends Council consider the request for an extension favourably.

Report prepared by:

Alec Warrender, Land Use Planner
/hb

Reviewed by:

Danielle Noble, Manager, Urban Land Use

Approved for Inclusion

Doug Gilchrist, Acting General Manager, Community Sustainability

Attachments:

Site Plan

REPORT TO COUNCIL



Date: April 9, 2013
RIM No. 1250-30
To: City Manager
From: Land Use Management, Community Sustainability (AW)
Application: Z10-0096 **Owner:** 0831627 B.C. Ltd., Inc., No. 0831627
Address: 540 Osprey Avenue **Applicant:** Pezzenti Holdings (A. Pezzenti)
Subject: Rezoning Application, Extension Request
Existing Zone: RU6 - Two Dwelling Housing
Proposed Zone: C4 - Urban Centre Commercial

1.0 Recommendation

THAT in accordance with Development Application Procedures Bylaw No. 10540, the deadline for the adoption of Amending Bylaw No. 10482 (Z10-0096) for Lot A, DL 14, ODYD, Plan EPP14200, located at 540 Osprey Avenue Kelowna, BC be extended from March 8, 2013 to March 8, 2014.

2.0 Purpose

To extend the deadline for adoption of the Zone Amending Bylaw from March 8, 2013 to March 8, 2014.

3.0 Land Use Management

Section 2.12.1 of Procedure Bylaw No. 10540 states that:

In the event that an application made pursuant to this bylaw is one (1) year old or older and has been inactive for a period of six (6) months or greater:

- a) The application will be deemed to be abandoned and the applicant will be notified in writing that the file will be closed;
- b) Any bylaw that has not received final adoption will be of no force and effect;
- c) In the case of an amendment application, the City Clerk will place on the agenda of a meeting of **Council** a motion to rescind all readings of the bylaw associated with that Amendment application.

Section 2.12.2 of the Procedure Bylaw makes provision that upon written request by the applicant prior to the lapse of the application, **Council** may extend the deadline for a period of twelve (12) months by passing a resolution to that affect.

By-Law No.10482 received second and third readings on March 8, 2011 after the Public Hearing held on the same date. The applicant wishes to have this application remain open for an additional twelve (12) months as the property is now under new ownership and the new owner requires additional time to address the technical requirements associated with the project.

The Land Use Management Department recommends Council consider the request for an extension favourably.

Report prepared by:

Alec Warrender, Land Use Planner
/hb

Reviewed by:

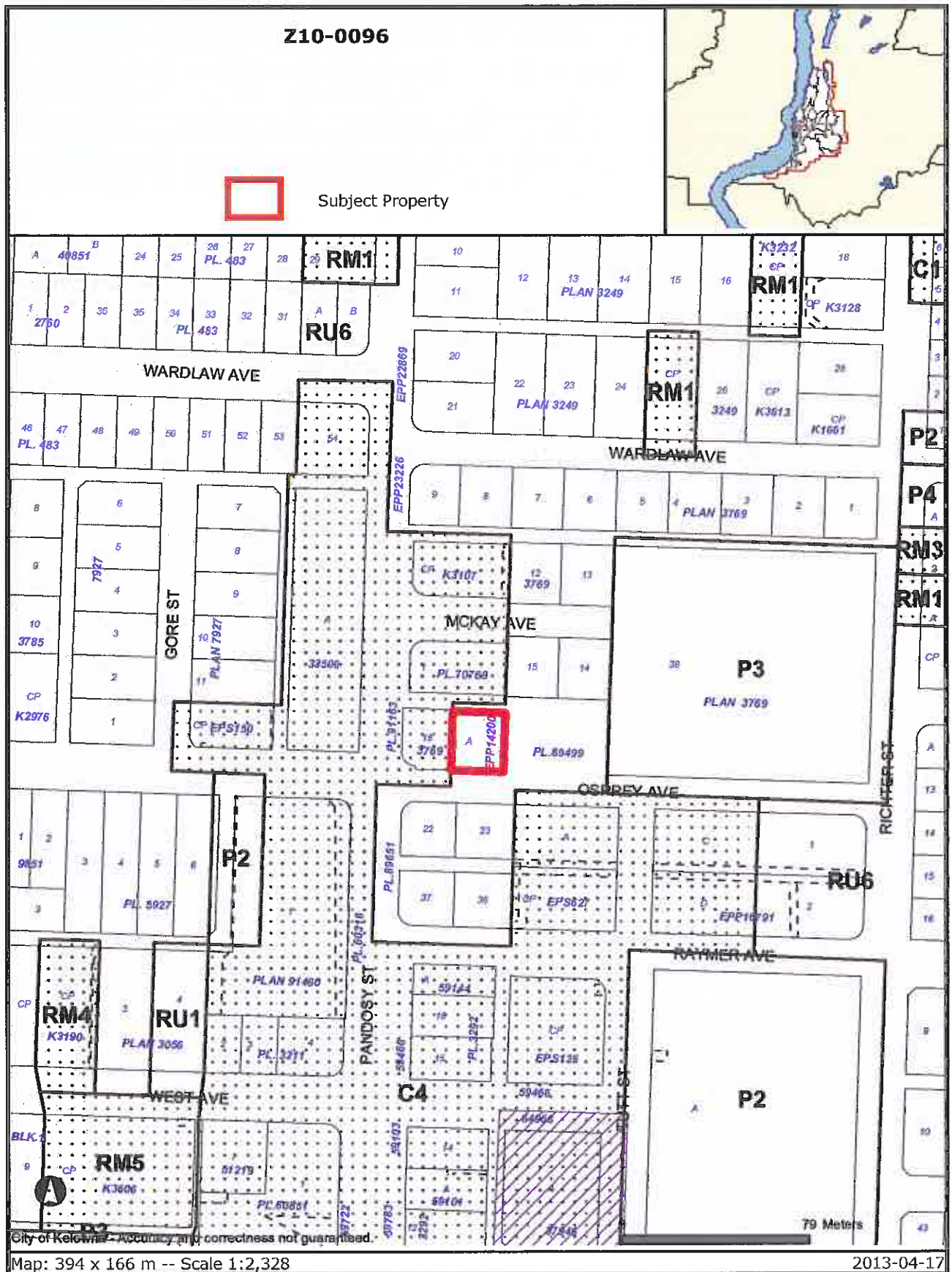
Danielle Noble, Manager, Urban Land Use

Approved for Inclusion

Doug Gilchrist, Acting GM, Community Sustainability

Attachments:

Subject Property



Certain layers such as lots, zoning and dp areas are updated bi-weekly. This map is for general information only.
 The City of Kelowna does not guarantee its accuracy. All information should be verified.

REPORT TO COUNCIL



Date: April 1, 2013
RIM No. 1250-30
To: City Manager
From: Land Use Management, Community Sustainability (AW)
Application: OCP08-0011 / Z07-0079 **Owner:** Kathleen (Kimble) Mooney
Address: 526 Hawes Court **Applicant:** Kathleen (Kimble) Mooney
Subject: Rezoning Application, Extension Request
Existing Zone: RR1 - Rural Residential 1
Proposed Zone: RU1hs - Large Lot Housing (Hillside Area) with Secondary Suite & RU2h Medium Lot Housing (Hillside Area)

1.0 Recommendation

THAT in accordance with Development Application Procedures Bylaw No. 10540, the deadline for the adoption of Amending Bylaw Nos. 10389 (OCP08-0011) and 10390 (Z07-0079) for Lot 2 Section 24 Township 28 SDYD, Plan 33972 Except Plan 35765, EPP25048 and EPP23906 for 526 Hawes Court, be extended from February 24, 2013 to February 24, 2014.

2.0 Purpose

To extend the deadline for adoption of the OCP and Zone Amending Bylaws from February 24, 2013 to February 24, 2014.

3.0 Land Use Management

Section 2.12.1 of Procedure Bylaw No. 10540 states that:

In the event that an application made pursuant to this bylaw is one (1) year old or older and has been inactive for a period of six (6) months or greater:

- a) The application will be deemed to be abandoned and the applicant will be notified in writing that the file will be closed;
- b) Any bylaw that has not received final adoption will be of no force and effect;
- c) In the case of an amendment application, the City Clerk will place on the agenda of a meeting of **Council** a motion to rescind all readings of the bylaw associated with that Amendment application.

Section 2.12.2 of the Procedure Bylaw makes provision that upon written request by the applicant prior to the lapse of the application, **Council** may extend the deadline for a period of twelve (12) months by passing a resolution to that affect.

By-Law Nos. 10389 and No. 10390 received second and third readings on August 24, 2010, after the Public Hearing held on the same date. The applicant wishes to have this application remain open for an additional twelve (12) months in order to address the technical requirements associated with the proposal. This project remains unchanged and is the same in all respects as originally applied for. Staff will be hesitant to support any future extensions unless the file is moving forward.

The Land Use Management Department recommends Council consider the request for an extension favourably.

Report prepared by:

Alec Warrender, Land Use Planner
/hb

Reviewed by:

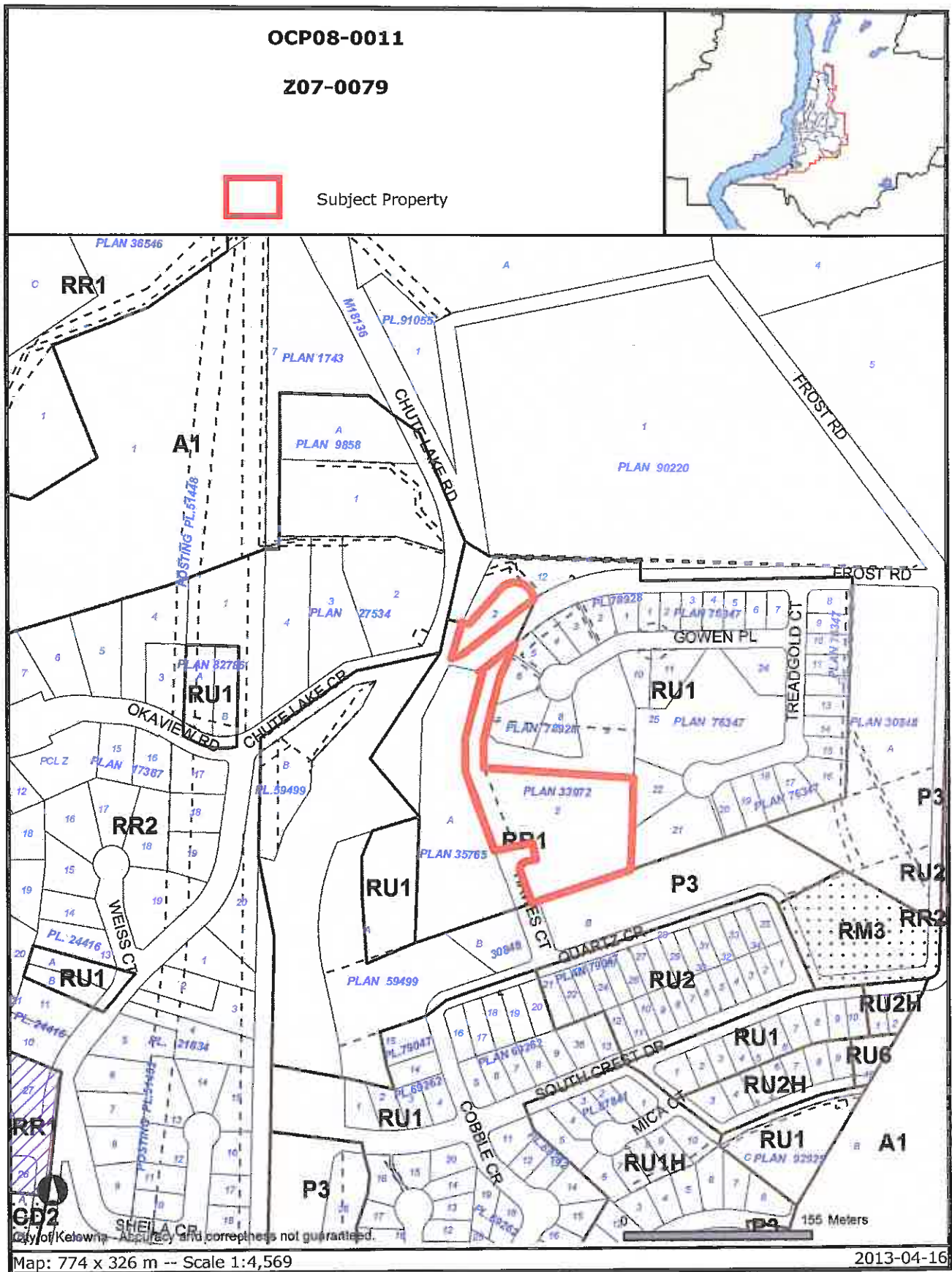
Danielle Noble, Manager, Urban Land Use

Approved for Inclusion

Doug Gilchrist, Acting General Manager, Community Sustainability

Attachments:

Site Plan



Map: 774 x 326 m -- Scale 1:4,569

2013-04-16

Certain layers such as lots, zoning and dp areas are updated bi-weekly. This map is for general information only. The City of Kelowna does not guarantee its accuracy. All information should be verified.

Report to Council



Date: April 11, 2013

Rim No. 0155-30

To: City Manager

From: Jerry Dombowsky, Regional Programs Manager

Subject: Okanagan Car Share Co-Op Parking Spaces

Report Prepared by: Michelle Kam, Sustainability Coordinator

Recommendation:

That Council authorizes two (2) parking spaces at no charge from May 15, 2013 to May 15, 2014 at the City's Memorial Arena lot for the Okanagan Car Share Co-op as identified in Appendix "A" to the report of the Regional Programs Manager dated April 11, 2013.

AND That Council authorizes one (1) parking space at no charge from May 15, 2013 to May 15, 2014 at the City's Osprey lot for the Okanagan Car Share Co-op as identified in Appendix "B" to the report of the Regional Programs Manager dated April 11, 2013.

Purpose:

To allow the use of three City owned parking spaces at no charge by Okanagan Car Share Co-op for a period of one year.

Background:

The Okanagan Car Share Co-op (OGO) is launching their car share on May 2nd, 2013 with two vehicles, one located downtown and one in South Pandosy. The OGO plans to add a third vehicle to their fleet by fall 2013. The OGO is requesting that the City provide three parking spaces in convenient locations close to transit for one year. City staff recommends that the City provide two spaces at the City's Memorial Arena lot (downtown, Appendix "A") and one space at the City's Osprey lot (South Pandosy, Appendix "B").

The City previously supported the OGO by acting as a one-time funding conduit between the Enterprising Non Profits Organization and the Okanagan Car Share Co-op (Council Memo, September 11, 2012).

The OGO is a not for profit group establishing a car share in the Okanagan. The Car Share has received \$17,366 grant from Interior Savings to help acquire the first two vehicles. The Car Share has established a roaming agreement with Modo (Vancouver's carshare co-op) that enables OGO members to have access to Modo's carshare fleet when members are in Vancouver. Furthermore, the OGO established a partnership with the BC SCRAP-IT program where members are able to receive a \$750 driving credit with OGO when they scrap their

2000 or older vehicle. Additional information can be found in the FAQs in Appendix C and at www.ogocarshare.ca

Through car sharing, residents, businesses, local governments and academic institutions can gain the benefits of vehicle use without the costs and responsibilities associated with vehicle ownership. A car share program fits with the implementation of the Community Climate Action Plan which has a goal to reduce community greenhouse gas emissions 33% below 2007 levels by 2020.

Internal Circulation:

Acting Director, Real Estate and Building Services
Parking Operations Coordinator
Sustainability Coordinator

Existing Policy:

Official Community Plan, Objective 6.2.1: Improve energy efficiency and reduce community greenhouse gas emissions.

Official Community Plan, Objective 7.11: Implement parking management programs that promote reduced car ownership, reduced car trips and increased use of active modes of transportation.

Community Climate Action Plan, Right Sizing Vehicle Action: Support the formation of Cooperative Auto Networks (car/truck share).

The Downtown Parking Management Plan supports the use of car sharing as an option to reduce overall demand for parking spaces. Car sharing reduces the need to add more parking capacity, as multiple users can access the same vehicle thus reducing demand for extra spaces.

Financial/Budgetary Considerations:

A monthly pass at the Memorial Arena lot is \$46.44 per month. Therefore, two parking spaces for one year would cost \$1,114.56. However, the Okanagan Car Share will launch with only two vehicles (one at each location) and therefore this cost would be reduced as they will not utilize the second downtown space for an entire year. While the space at the Memorial Arena lot will be reserved for this use, the revenue loss is only a potential one, as there is other City owned space (Library parkade, Doyle and Ellis) that has available space to accommodate any displaced parkers - so the revenue may not really be lost.

There will be no financial loss for the parking stall in the Osprey lot as this is currently a free “unregulated” lot. While this lot is well used, the loss of one stall will have minimal impact.

Considerations not applicable to this report:

Legal/Statutory Authority:
Legal/Statutory Procedural Requirements:
Personnel Implications:
External Agency/Public Comments:
Communications Comments:

Alternate Recommendation:

Submitted by:

J. Dombowsky, Regional Programs Manager

Approved for inclusion: R. Westlake, Director Regional Services

cc:

Acting Director, Real Estate and Building Services
Parking Operations Coordinator
Sustainability Coordinator

Attachments:

Appendix "A" Map of parking spaces at City's Memorial Arena Lot
Appendix "B" Map of parking spaces at City's Osprey Lot
Appendix "C" Okanagan Car Share Co-op FAQ's



1425-1431

1435-1441

1443-1445

1447

1451

1453-1457

1460

1435

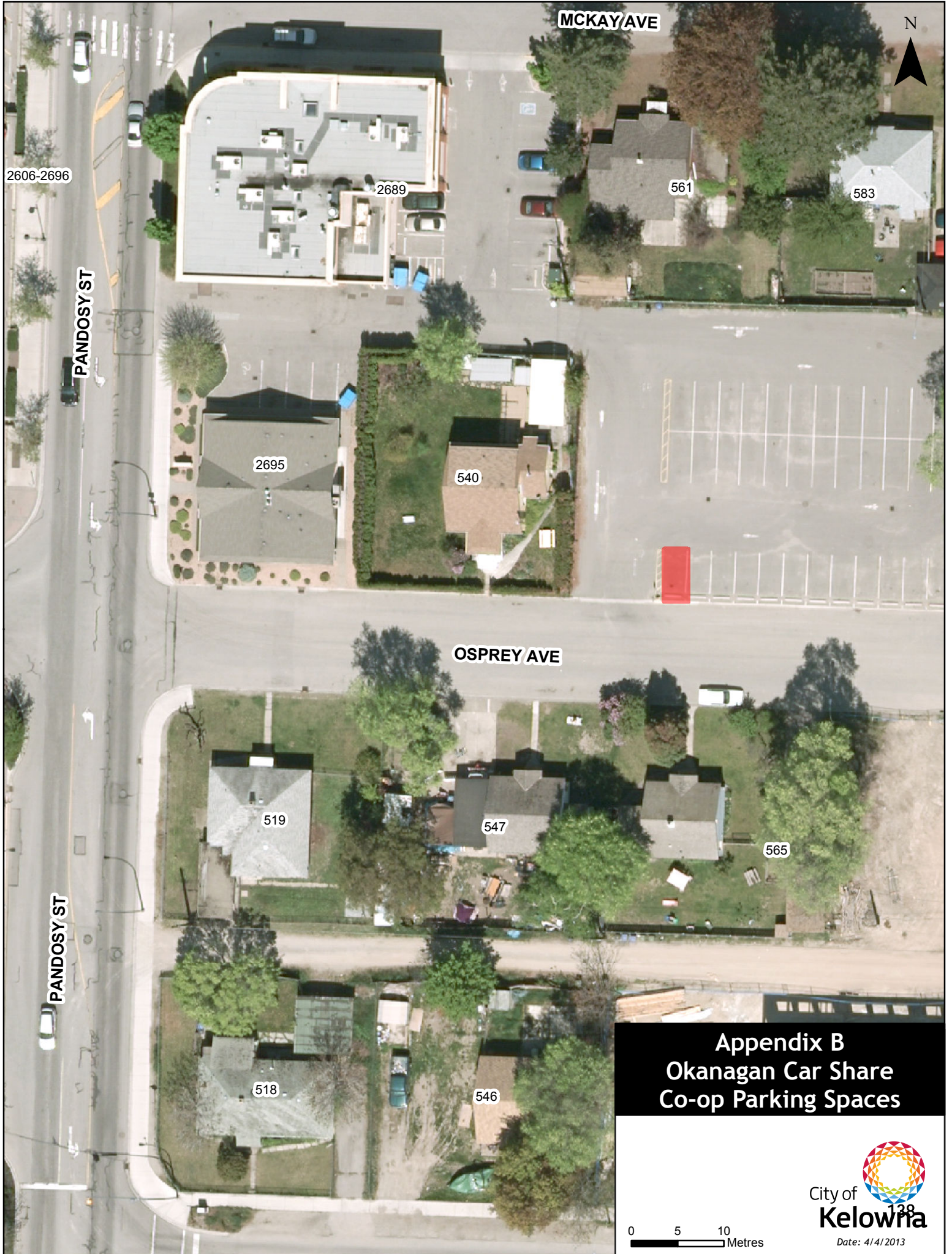
ELLIS ST

QUEENSWAY

**Appendix A
Okanagan Car Share
Co-op Parking Spaces**

0 2.5 5 10
Metres





MCKAY AVE

N

2606-2696

2689

561

583

PANDOSY ST

2695

540

OSPREY AVE

519

547

565

PANDOSY ST

518

546

Appendix B Okanagan Car Share Co-op Parking Spaces

0 5 10
Metres

Report to Council



Date: April 22, 2013
File: 1510-80
To: City Manager
From: Kevin Van Vliet, Manager Utility and Building Projects
Subject: Library Parkade Expansion, Ellis Parkade Project Update

Recommendation:

THAT Council receives, for information, the report from the Manager Utility and Building Projects dated April 22, 2013 with respect to the Library Parkade expansion and the Ellis Parkade projects;

Purpose:

To provide Council with an update on scope and funding requirements of the downtown parkade projects.

Background:

As part of the City's agreement with Interior Health (IH) for the downtown revitalization project, the City will construct 410 additional parking stalls to be used by IH during regular business hours. These parking stalls will be available for public parking on evenings and weekends.

This parking will be accomplished through the design and construction of a new parkade on Ellis Street, between the Okanagan Heritage Museum and the Military Museum / Memorial Arena (the "Ellis Parkade").

In addition, the City will also expand the Library Parkade toward Ellis St. (the "Library Parkade") in order to replace many of the current surface parking stalls which will be lost at the IH building site and the new Ellis Parkade building site.

During negotiations on this project a preliminary estimate of the parkade construction costs was completed, with the understanding that there could be substantive variability as staff proceeded to detailed design.

Design and Construction Services have now completed a Schematic Design with updated cost estimates for both sites. The results show a 12% overall increase over the original estimate. The current cost estimates are:

	Estimated Project Costs	Original Budget	Shortfall
Library Expansion	\$6,476,000	\$4,075,000	\$2,401,000
Ellis Parkade.	<u>\$14,864,000</u>	<u>\$14,925,000</u>	<u>(\$61,000)</u>
Project Total	\$21,340,000	\$19,000,000	\$2,340,000

The main discrepancies between the original and current cost estimates are a result of unanticipated geotechnical remediation requirements and the inclusion of expanded ground level retail at the Library Parkade expansion site.

To ensure a high quality urban environment, significant ground level retail space will be designed into the library parkade on both Smith and Ellis Streets. This retail space works toward making the street a more pedestrian friendly space and contributes to enhancing the commercial / retail viability of Ellis Street near Doyle Avenue. The proposed design has more than the required minimum retail space incorporated to ensure that the space is commercially viable for the long term.

Ground level active uses must also be designed into the Ellis Parkade. This space will be used for a municipal purpose as City office space. The Bruckal building which houses City office space will be demolished to allow for redevelopment of the Central Green lands. The current Ellis Parkade schematic design also includes approximately 22 stalls to be used by the occupants of the City space.

Funding of the \$2.34 million dollar shortfall from the Parking Reserve will be repaid over a 7 year period through future Cash in Lieu of parking contributions, future parking revenues and rental revenues from the expanded commercial space on Ellis within the library parkade.

This could be advanced if parking revenues exceed estimates.

Two other project options were investigated but determined to not be in the best long term interest of the City. These were:

Reduce project scope.

Staff reviewed the option of reducing the project scope by building fewer stalls at the Ellis Parkade and relocating some of the IH parking to the Library Parkade. However, this would not meet the City’s commitment for parking stall provision as outlined in the project agreement with IH.

It would be possible to reduce the size of the proposed civic space at the Ellis Parkade, however the actual cost savings would be very small and the City would still need to secure City office space. The Ellis Parkade project will fund a shell (building envelope) and basic utility services for the space. Costs will not change significantly if the size of the space is reduced.

The Library Parkade scope could be reduced slightly by making the retail space smaller (effectively to the depth of a single parking stall), however this would result in a significant reduction in revenues (the price per square foot would have to drop as the space would have limited viability). The cost savings of constructing smaller retail space would be small as the impact on cost of the basic building envelope and mechanical / electrical systems is minimal.

The scope of the parking supply at the Library Parkade has already been reduced by removing the below grade expansion, which on a cost per stall basis, is the most expensive parking to be constructed.

It is not practical to significantly further reduce the Library Parkade scope. The project budget includes a visually appealing facade to ensure that it enhances the urban quality of the Cultural District.

Change the project scope.

It is possible to provide roughly the same overall number of parking stalls (630) at a single, larger Ellis Parkade. A single parkade at Ellis would be approximately 21 metres in height. Due to the increased number of vehicles the traffic impact assessment identified an additional traffic signal on Ellis would be required at the parkade exit.

A single parkade would be a significant change in project scope. Since the project budget and AAP process were quite specific the City would need to redo the AAP process which would add cost and time to the project and therefore this option was not considered appropriate at this stage. A 21 metre high parkade at this location is not in the best interest of the overall urban design of the site.

Next Steps:

With required project funding confirmed both projects will proceed to detailed design with a focus on the Library Parkade expansion since its completion is desired first. Staff anticipate applying for a Development Permit in May and will hold a Public Information Session for public review on the Library Parkade expansion schematic design. This session is expected to be held in late May or early June.

Internal Circulation:

General Manager, Community Sustainability
Director, Design & Construction Services
Supervisor, Communications

Legal/Statutory Authority:

Project borrowing for the amount of \$14,000,000 for the Ellis Parkade and \$1,000,000 for the Library Parkade expansion was approved in late 2012 through an Alternative Approval Process (Loan Authorization Bylaw No. 10742 Extension and New Facility Loan).

External Agency/Public Comments:

Staff have been communicating regularly with the Okanagan Heritage Museum Board with respect to the Ellis Parkade schematic design.

Considerations not applicable to this report:

Existing Policy:

Personnel Implications:

Financial/Budgetary Considerations:

Communications Comments:

Alternate Recommendation:

Legal/Statutory Procedural Requirements:

Submitted by:

K. Van Vliet, Manager, Utility and Building Projects

Approved for inclusion:

cc:

DRAFT RESOLUTION

Re: Cancellation of the May 7, 2013 Public Hearing & Regular Meeting

THAT the Public Hearing and Regular Meeting scheduled for Tuesday, May 7, 2013 be cancelled.

BACKGROUND:

There are no items scheduled for the May 7, 2013 Public Hearing or Regular Meeting.

Date: April 23, 2013

File: 0550-01

Report to Council



Date: April 23, 2013

Rim No. 0600-10

To: City Manager

From: City Clerk

Subject: BL10824 - Sterile Insect Release Program Parcel Tax Bylaw 2013

Report Prepared by: C. Boback, Legislative Coordinator

Recommendation:

THAT Bylaw No. 10824, being Sterile Insect Release Program Parcel Tax Bylaw 2013 be adopted.

Purpose:

To consider adoption of Bylaw No. 10824, being Sterile Insect Release Program Parcel Tax Bylaw 2013.

Background:

Bylaw No. 10824 received first three readings by Council on Monday, April 22, 2013. A copy of the Bylaw is attached. All legislative requirements have been met.

Submitted by:

S. Fleming, City Clerk

CITY OF KELOWNA

BYLAW NO. 10824

Sterile Insect Release Program Parcel Tax Bylaw 2013

A bylaw pursuant to Section 200 of the *Community Charter* to impose and levy a Parcel Tax upon the owners of land or real property within the City of Kelowna being served by the Sterile Insect Release Program.

NOW THEREFORE, the Municipal Council of the City of Kelowna, in open meeting assembled, enacts as follows:

1. A Parcel Tax shall be and is hereby imposed and levied upon the owners of land or real property as shown on Schedule "A" attached to and forming part of this bylaw, being served by the Sterile Insect Release Program.
2. The Parcel Tax shall be levied for the 2013 tax year on each parcel of land aforementioned, and the amount of such Parcel Tax shall be One Hundred and Thirty-Nine Dollars and Twenty-Six Cents (\$139.26) per assessed acre.
3. This bylaw shall be known for all purposes as the "Sterile Insect Release Program Parcel Tax Bylaw 2013 No. 10824".

Read a first, second and third time by the Municipal Council this 22nd day of April, 2013.

Adopted by the Municipal Council of the City of Kelowna this

Mayor

City Clerk

Bylaw No. 10824 - Page 2
Schedule "A"

JURISDICTIONS: 217

2013 S.I.R. PARCEL TAX ROLL

RDCO

Jurisdiction	Roll	Grower Address	Legal Description	Adj Total	139.26
217	03108.010	1315 LATA RD	LOT 10, PLAN 1611, SEC 1, TWP 23, 41	5.94	827.20
217	03121.000	2355 MCKENZIE RD	LOT A, PLAN 15889, SEC 1, TWP 23, 41	6.29	875.95
217	03121.010	2295 MCKENZIE RD	LOT 2, PLAN 33255, SEC 1, TWP 23, 41	19.89	2769.88
217	03186.100	2685 SEXSMITH RD	LOT 1, PLAN KAP45492, SEC 3, TWP 23, 41	9.02	1256.13
217	03210.125	2517 SEXSMITH RD	LOT 10, PLAN 21431, SEC 3&4, TWP 23, 41	7.24	1008.24
217	03210.210	705 VALLEY RD	LOT B, PLAN 31659, SEC 3, TWP 23, 41	5.95	828.60
217	03255.321	1982 UNION RD	LOT A, PLAN KAP75150, SEC 4, TWP 23, 41	1	139.26
217	03255.322	1980 UNION RD	LOT B, PLAN KAP75150, SEC 4, TWP 23, 41	1	139.26
217	03282.000	2389 LONGHILL RD	LOT 13, PLAN 1068, SEC 4, TWP 23, 41	6.2	863.41
217	03283.000	2206 LONGHILL RD	LOT 2, PLAN 1068, SEC 4&34, TWP 23, 41	7.4	1030.52
217	03284.000	187 VALLEY RD	LOT 3, PLAN 1068, SEC 4&34, TWP 23, 41	3.87	538.94
217	03286.000	143 1 VALLEY RD	LOT 5, PLAN 1068, SEC 4, TWP 23, 41	3.84	534.76
217	03287.000	127 1 VALLEY RD	LOT 6, PLAN 1068, SEC 4, TWP 23, 41	9.27	1290.94
217	03288.000	2214 BONN RD	LOT 7, PLAN 1068, SEC 4, TWP 23, 41	4.51	628.06
217	03289.000	115 VALLEY RD N	LOT 8, PLAN 1068, SEC 4, TWP 23, 41	10.13	1410.70
217	03270.000	2545 SEXSMITH RD	LOT 11, PLAN 1068, SEC 3&4, TWP 23, 41	1.9	264.59
217	03271.000	220 MAIL RD	LOT 12, PLAN 1068, SEC 4, TWP 23, 41	9.63	1341.07
217	03272.000	180 MAIL RD	LOT 13, PLAN 1068, SEC 4, TWP 23, 41	8.47	1179.53
217	03274.000	135 VALLEY RD N	LOT H, PLAN 1636, SEC 4, TWP 23, 41	5.37	747.83
217	03278.000	800 PACKINGHOUSE RD	LOT 3, PLAN 1884, SEC 4&9, TWP 23, 41	1	139.26
217	03279.000	2160 SCENIC RD	LOT 4, PLAN 1884, SEC 4&9, TWP 23, 41	3.8	529.19
217	03337.532	770 PACKINGHOUSE RD	LOT A, PLAN 35054, SEC 4, TWP 23, 41	3.86	537.54
217	03395.000	531 GLENMORE RD N	LOT 29, PLAN 896, SEC 9, TWP 23, 41	6.39	889.87
217	03645.000	2434 GALE RD	LOT 2, PLAN 1453, SEC 23, TWP 23, 41	1.6	222.82
217	03646.000	2504 GALE RD	LOT 3, PLAN 1453, SEC 23, TWP 23, 41	4.17	580.71
217	03650.000	2801 DRY VALLEY RD	LOT 7, PLAN 1453, SEC 23, TWP 23, 41	3.39	472.09
217	03684.000	2155 QUAIL RIDGE BLVD	LOT 1, PLAN 2257, SEC 23, TWP 23, 41	2.18	303.59
217	03684.514	2855 DRY VALLEY RD	LOT A, PLAN KAP37471, SEC 23, TWP 23, 41	1.85	267.63
217	03684.516	2849 DRY VALLEY RD	LOT B, PLAN 37471, SEC 23, TWP 23, 41	10.67	1485.90

1 of 13

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1 OF 13

Jurisdiction	Roll	Grower Address	Legal Description	Adj Total	139.26
217	03884.000	3310 MATHEWS RD	LOT 63, PLAN 1247, SEC 3&34, TWP 26, 41	9.56	1331.33
217	03898.000	3810 WATER RD	LOT 102, PLAN 1247, SEC 3, TWP 26, 41	6.41	892.66
217	03899.000	3260 MATHEWS RD	LOT 109, PLAN 1247, SEC 3, TWP 26, 41	3.12	434.49
217	03905.001	4232 SPIERS RD	LOT 117, PLAN 1247, SEC 3, TWP 26, 41	7.16	997.10
217	03905.104	4236 SPIERS RD	LOT B, PLAN KAP92871, SEC 3, TWP 26, 41	4.45	619.71
217	03906.000	4233 SPIERS RD	LOT 119, PLAN 1247, SEC 3, TWP 26, 41	3.9	543.11
217	03907.000	4221 SPIERS RD	LOT 120, PLAN 1247, SEC 3, TWP 26, 41	11.33	1577.82
217	03908.000	4215 SPIERS RD	LOT 121, PLAN 1247, SEC 3, TWP 26, 41	1	139.26
217	03912.000	3030 GRIEVE RD	LOT 125, PLAN 1247, SEC 3, TWP 26, 41	6.13	853.66
217	03913.001	3015 GRIEVE RD	LOT 126, PLAN 1247, SEC 3, TWP 26, 41	10.19	1419.06
217	03913.100	3145 GULLEY RD	LOT 127, PLAN 1247, SEC 3, TWP 26, 41	10.16	1414.88
217	03949.320	4280 SPIERS RD	LOT B, PLAN 34609, SEC 3, TWP 26, 41	9.95	1385.64
217	03949.340	4207 SPIERS RD	LOT B, PLAN KAP47098, SEC 3, TWP 26, 41	3.07	427.53
217	03949.390	3480 WATER RD	LOT A, PLAN KAP71707, SEC 3, TWP 26, 41	5.71	795.17
217	03950.000	3965 TODD RD	LOT , PLAN 1247, SEC 4, TWP 26, 41	8.67	1207.38
217	03952.062	3865 SPIERS RD	LOT 138, PLAN 1247, SEC 4, TWP 26, 41	1.17	162.93
217	03953.000	3895 SPIERS RD	LOT 139, PLAN 1247, SEC 4, TWP 26, 41	4.71	655.91
217	03955.000	2809 GRIEVE RD	LOT 141, PLAN 1247, SEC 4, TWP 26, 41	11.94	1662.76
217	03956.000	4201 SPIERS RD	LOT 142, PLAN 1247, SEC 4, TWP 26, 41	6.18	860.63
217	03960.000	2699 SAUCIER RD	LOT 145, PLAN 1247, SEC 4, TWP 26, 41	3.76	523.62
217	03965.000	4175 TODD RD	LOT 150, PLAN 1247, SEC 4, TWP 26, 41	8.33	1160.04
217	03968.000	4067 TODD RD	LOT 153, PLAN 1247, SEC 4, TWP 26, 41	6.43	895.44
217	03971.503	2287 WARD RD	LOT B, PLAN KAP78689, SEC 4, TWP 26, 41	35.49	4942.34
217	03973.000	3980 TODD RD	LOT 159, PLAN 1247, SEC 4, TWP 26, 41	2.41	335.62
217	03979.000	2715 HEWLETT RD	LOT 3, PLAN 1656, SEC 4, TWP 26, 41	8.37	1165.61
217	03981.000	2570 SAUCIER RD	LOT , PLAN B6018, SEC 4, TWP 26, 41	1.24	172.68
217	03985.000	2675 HEWLETT RD	LOT A, PLAN 12142, SEC 4, TWP 26, 41	5.11	711.62
217	03990.002	3950 SPIERS RD	LOT E, PLAN 12142, SEC 4, TWP 26, 41	2.52	350.94
217	03995.027	3920 TODD RD	LOT B, PLAN 21140, SEC 4, TWP 26, 41	1	139.26

Bylaw No. 10824 - Page 4
Schedule "A"

JURISDICTIONS: 217

2013 S.I.R. PARCEL TAX ROLL

RDCO

Jurisdiction	Roll	Grower Address	Legal Description	Adj Total	139.26
217	03995.159	3955 SPIERS RD	LOT A, PLAN KAP56989, SEC 4, TWP 26, 41	1.33	185.22
217	03995.172	2620 HEWLETT RD	LOT 2, PLAN KAP92520, SEC 4, TWP 26, 41	8.49	1182.32
217	03997.000	1591 SAUCIER RD	LOT 237, PLAN 1247, SEC 5, TWP 26, 41	7.78	1083.44
217	04008.001	4025 CASORSO RD	LOT A, PLAN KAP91004, SEC 5, TWP 26, 41	2.83	394.11
217	04008.002	4029 CASORSO RD	LOT B, PLAN KAP91004, SEC 5, TWP 26, 41	3.52	490.20
217	04014.004	3896A CASORSO RD	LOT A, PLAN KAP92331, SEC 5, TWP 26, 41	7.51	1045.84
217	04016.000	3877 CASORSO RD	LOT 4, PLAN 2243, SEC 5, TWP 26, 41	1.51	210.28
217	04021.000	3995 CASORSO RD	LOT 8, PLAN 2243, SEC 5, TWP 26, 41	5.81	809.10
217	04023.000	1989 WARD RD	LOT 10, PLAN 2243, SEC 5, TWP 26, 41	9.33	1299.30
217	04029.000	4153 BEDFORD RD	LOT 1, PLAN 15793, SEC 5, TWP 26, 41	5.84	813.28
217	04031.000	4122 BEDFORD RD	LOT 4, PLAN 15793, SEC 5, TWP 26, 41	1.88	261.81
217	04032.158	3860 CASORSO RD	LOT 2, PLAN KAP89549, SEC 5, TWP 26, 41	1	139.26
217	04118.205	1950 WARD RD	LOT A, PLAN KAP48946, SEC 8, TWP 12, 41	12.85	1789.49
217	04118.206	1990 WARD RD	LOT B, PLAN KAP48946, SEC 8, TWP 12, 41	2.49	346.76
217	04121.000	3677 SPIERS RD	LOT 1, PLAN 1072, SEC 9, TWP 26, 41	7.01	976.21
217	04127.000	3663 SPIERS RD	LOT 2, PLAN 1765, SEC 9, TWP 26, 41	7.86	1094.58
217	04151.030	3769 SPIERS RD	LOT 1, PLAN 23684, SEC 9, TWP 26, 41	3.71	516.65
217	04151.105	2190 GULLEY RD	LOT A, PLAN 26008, SEC 9, TWP 26, 41	6.01	836.95
217	04151.125	2568 K.L.O. RD	LOT B, PLAN 26528, SEC 9, TWP 26, 41	3.53	491.59
217	04151.140	3664 SPIERS RD	LOT A, PLAN 28797, SEC 9, TWP 26, 41	12.87	1792.28
217	04151.150	3668 SPIERS RD	LOT B, PLAN 28797, SEC 9, TWP 26, 41	1	139.26
217	04151.155	3678 SPIERS RD	LOT C, PLAN 28797, SEC 9, TWP 26, 41	6.92	963.68
217	04151.192	2777 K.L.O. RD	LOT A, PLAN 43297, SEC 9&10, TWP 26, 41	9.58	1334.11
217	04151.195	3740 HART RD	LOT 6, PLAN 29282, SEC 9, TWP 26, 41	16.21	2257.40
217	04151.200	2452 GULLEY RD	LOT 7, PLAN 29282, SEC 9, TWP 26, 41	21.87	3045.62
217	04151.210	2725 K.L.O. RD	LOT A, PLAN KAP45934, SEC 9, TWP 26, 41	28.77	4006.51
217	04151.260	2295 K.L.O. RD	LOT 2, PLAN 33463, SEC 9, TWP 26, 41	8.62	1200.42
217	04151.265	3551 SPIERS RD	LOT 3, PLAN 33463, SEC 9, TWP 26, 41	4.81	669.84
217	04151.292	2202 GULLEY RD	LOT A, PLAN KAP44147, SEC 9, TWP 26, 41	20.26	2821.41

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Jurisdiction	Roll	Grower Address	Legal Description	Adj Total	139.26
217	04151.300	3671 SPIERS RD	LOT A, PLAN KAP70726, SEC 9, TWP 26, 41	1.23	171.29
217	04152.000	3690 POOLEY RD	LOT , PLAN , SEC 10, TWP 26, 41	17.72	2467.69
217	04154.000	3400 REEKIE RD	LOT 3, PLAN 355, SEC 10, TWP 26, 41	8.73	1215.74
217	04156.000	3455 ROSE RD	LOT 4, PLAN 355, SEC 10, TWP 26, 41	16.8	2339.57
217	04157.051	3480 FITZGERALD RD	LOT 5, PLAN 355, SEC 10, TWP 26, 41	10.07	1402.35
217	04158.000	3201 ROSE RD	LOT 3, PLAN 790, SEC 10, TWP 26, 41	16.21	2257.40
217	04160.001	3090 MCCULLOCH RD	LOT 5, PLAN 790, SEC 10, TWP 26, 41	5.65	786.82
217	04161.000	3641 HART RD	LOT 7, PLAN 790, SEC 10, TWP 26, 41	6.8	946.97
217	04166.000	3274 MCCULLOCH RD	LOT 2, PLAN 978, SEC 10, TWP 26, 41	9.2	1281.19
217	04167.000	3286 MCCULLOCH RD	LOT 3, PLAN 978, SEC 10, TWP 26, 41	6.58	916.33
217	04168.000	3296 1 MCCULLOCH RD	LOT 4, PLAN 978, SEC 10, TWP 26, 41	4.37	608.57
217	04170.000	3041 POOLEY RD	LOT 3, PLAN 1517, SEC 10, TWP 26, 41	2.4	334.22
217	04171.000	3131 POOLEY RD	LOT 2, PLAN 1517, SEC 10, TWP 26, 41	1	139.26
217	04174.002	3099 MCCULLOCH RD	LOT B, PLAN KAP71621, SEC 10, TWP 26, 41	2.91	405.25
217	04176.000	3591 HART RD	LOT 3, PLAN 1589, SEC 10, TWP 26, 41	3.33	463.74
217	04179.000	3635 REEKIE RD	LOT A, PLAN 2038, SEC 10, TWP 26, 41	18.69	2602.77
217	04180.000	3635 FITZGERALD RD	LOT B, PLAN 2038, SEC 10, TWP 26, 41	35.84	4991.08
217	04181.000	3520 REEKIE RD	LOT 1, PLAN 2398, SEC 10, TWP 26, 41	3.96	551.47
217	04183.000	3680 REEKIE RD	LOT 2, PLAN 2398, SEC 10, TWP 26, 41	10.94	1523.50
217	04184.000	3096 MCCULLOCH RD	LOT 1, PLAN 2957, SEC 10, TWP 26, 41	1	139.26
217	04194.000	3275 MCCULLOCH RD	LOT 1, PLAN 6530, SEC 10, TWP 26, 41	12.18	1696.19
217	04198.000	3524 ROSE RD	LOT A, PLAN 11840, SEC 10, TWP 26, 41	9.17	1277.01
217	04199.100	3564 ROSE RD	LOT A, PLAN KAP18708, SEC 10, TWP 26, 41	11.84	1648.84
217	04199.156	3269 MCCULLOCH RD	LOT 2, PLAN KAP90496, SEC 10, TWP 26, 41	2.06	286.88
217	04199.180	3301 MCCULLOCH RD	LOT 2, PLAN 28811, SEC 3&10, TWP 26, 41	14.83	2065.23
217	04199.252	3630 FITZGERALD RD	LOT B, PLAN 30817, SEC 10, TWP 26, 41	10.15	1413.49
217	04199.254	3505 FITZGERALD RD	LOT 1, PLAN 30818, SEC 10, TWP 26, 41	20.43	2845.08
217	04199.278	3565 ROSE RD	LOT A, PLAN 38325, SEC 10, TWP 26, 41	8.49	1182.32
217	04199.280	3248 MCCULLOCH RD	LOT B, PLAN 38325, SEC 10, TWP 26, 41	1.47	204.71

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Jurisdiction	Roll	Grower Address	Legal Description	Adj Total	139.26
217	04199.302	3665 HART RD	LOT 2, PLAN KAP48949, SEC 10, TWP 26, 41	10.75	1497.05
217	04199.303	3255 MCCULLOCH RD	LOT A, PLAN KAP63291, SEC 10, TWP 26, 41	1	139.26
217	04199.306	3671 HART RD	LOT B, PLAN KAP92586, SEC 10, TWP 26, 41	4.81	669.84
217	04201.000	3940 SENGHER RD	LOT, PLAN, SEC 11, TWP 26, 41	5.55	772.89
217	04206.000	2800 WALBURN RD	LOT 3, PLAN 1380, SEC, TWP 26, 41	3.94	548.68
217	04208.000	2604 A BELGO RD	LOT 5, PLAN 1380, SEC 11, TWP 26, 41	7.07	984.57
217	04209.000	2502 BELGO RD	LOT 6, PLAN 1380, SEC 11, TWP 26, 41	14.74	2052.69
217	04210.000	2550 WALBURN RD	LOT 7, PLAN 1380, SEC, TWP 26, 41	3.35	466.52
217	04214.000	2605 BELGO RD	LOT 3, PLAN 1380, SEC 11, TWP 26, 41	8.55	1190.67
217	04215.000	2505 BELGO RD	LOT 4, PLAN 1380, SEC 11, TWP 26, 41	8.97	1249.16
217	04220.000	3950 BORLAND RD	LOT, PLAN B1862, SEC 11, TWP 26, 41	2.92	406.64
217	04222.000	3527 BEMROSE RD	LOT 2, PLAN 2005, SEC 11, TWP 26, 41	3.17	441.45
217	04223.000	3835 BORLAND RD	LOT A, PLAN 2645, SEC 11, TWP 26, 41	5.04	701.87
217	04225.000	3553 BEMROSE RD	LOT 1, PLAN 4332, SEC 11, TWP 26, 41	4.37	608.57
217	04226.000	3571 BEMROSE RD	LOT 2, PLAN 4332, SEC 11, TWP 26, 41	4.96	690.73
217	04227.000	3587 BEMROSE RD	LOT 3, PLAN 4332, SEC 11, TWP 26, 41	5.38	749.22
217	04228.000	3625 BEMROSE RD	LOT A, PLAN 4553, SEC 11, TWP 26, 41	12.6	1754.68
217	04232.000	3647 BEMROSE RD	LOT 1, PLAN 5787, SEC 11, TWP 26, 41	6.28	874.55
217	04234.000	4010 SENGHER RD	LOT A, PLAN 6005, SEC 11, TWP 26, 41	25.24	3514.92
217	04235.000	3975 SENGHER RD	LOT A, PLAN 6633, SEC 11, TWP 26, 41	2.66	370.43
217	04237.120	2149 BELGO RD	LOT 1, PLAN 31521, SEC, TWP 26, 41	14.62	2035.98
217	04237.130	2327 BELGO RD	LOT 1, PLAN 33009, SEC 11, TWP 26, 41	9.91	1380.07
217	04237.137	3547 BEMROSE RD	LOT 1, PLAN KAP71097, SEC 26, TWP 11, 41	1	139.26
217	04240.000	2260 GARNER RD	LOT 1, PLAN 1380, SEC, TWP 26, 41	6.14	855.06
217	04243.000	2455 WALBURN RD	LOT B, PLAN B3238, SEC 12, TWP 26, 41	7.4	1030.52
217	04245.051	2601 WALBURN RD	LOT 2, PLAN KAP62978, SEC 12, TWP 26, 41	7.63	1062.55
217	04247.000	1190 LEWIS RD	LOT 9, PLAN 1380, SEC 13, TWP 26, 41	8.08	1125.22
217	04248.000	2290 GARNER RD	LOT 2, PLAN KAP1380, SEC, TWP 26, 41	8.03	1118.26
217	04249.000	2148 WALBURN RD	LOT 4, PLAN 1380, SEC 13, TWP 26, 41	10.45	1455.27

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Jurisdiction	Roll	Grower Address	Legal Description	Adj Total	139.26
217	04254.000	1093 TEASDALE RD	LOT 8, PLAN 1380, SEC 14, TWP 26, 41	5.15	717.19
217	04256.000	1320 BELGO RD	LOT 1, PLAN 1926, SEC 13, TWP 26, 41	5.74	799.35
217	04258.000	1404 LEWIS RD	LOT 2, PLAN 1926, SEC 13, TWP 26, 41	10.52	1465.02
217	04261.000	1839 WALBURN RD	LOT 7, PLAN 1926, SEC 13, TWP 26, 41	5.81	781.25
217	04269.002	2091 WALBURN RD	LOT 2, PLAN 4119, SEC 13, TWP 26, 41	7.87	1095.98
217	04270.002	1810 GARNER RD	LOT A, PLAN KAP91170, SEC 13, TWP 26, 41	3.78	526.40
217	04270.003	1959 WALBURN RD	LOT B, PLAN KAP91170, SEC 13, TWP 26, 41	1	139.26
217	04293.000	1181 LEWIS RD	LOT A, PLAN 11265, SEC 13, TWP 26, 41	1.24	172.68
217	04315.000	3855 EAST KELOWNA RD	LOT 13, PLAN 665, SEC 14, TWP 26, 41	1	139.26
217	04317.000	2075 BELGO RD	LOT 9, PLAN 1380, SEC 14, TWP 26, 41	4.45	619.71
217	04318.001	1865 BELGO RD	LOT 11, PLAN 1380, SEC 14, TWP 26, 41	9.21	1282.58
217	04319.000	2280 HOLLYWOOD RD S	LOT 12, PLAN 1380, SEC 14, TWP 26, 41	7.49	1043.06
217	04323.000	1725 TEASDALE RD	LOT 2, PLAN 1380, SEC 14, TWP 26, 41	2.82	392.71
217	04324.000	1650 GEEN RD	LOT 3, PLAN 1380, SEC 14, TWP 26, 41	8.63	1201.81
217	04325.001	1390 GEEN RD	LOT A, PLAN KAP90868, SEC 14, TWP 26, 41	7.9	1100.15
217	04325.003	1552 GEEN RD	LOT C, PLAN KAP90868, SEC 14, TWP 26, 41	2.03	282.70
217	04326.000	1699 TEASDALE RD	LOT 5, PLAN 1380, SEC 14, TWP 26, 41	3.93	547.29
217	04327.000	1687 TEASDALE RD	LOT 6, PLAN 1380, SEC 14, TWP 26, 41	5.79	806.32
217	04329.000	1409 TEASDALE RD	LOT 8, PLAN 1380, SEC 14, TWP 26, 41	3.2	445.63
217	04330.000	1555 TEASDALE RD	LOT 10, PLAN 1380, SEC 14, TWP 26, 41	1.04	144.83
217	04333.000	1375 GEEN RD	LOT 5, PLAN KAP1380, SEC 13, TWP 26, 41	1	139.26
217	04334.001	1225 TEASDALE RD	LOT 6, PLAN 1380, SEC 14, TWP 26, 41	4.07	566.79
217	04335.000	1103 TEASDALE RD	LOT 7, PLAN 1380, SEC 14, TWP 26, 41	2.36	328.55
217	04343.000	2270 HOLLYWOOD RD S	LOT A, PLAN 1845, SEC 14, TWP 26, 41	1	139.26
217	04344.000	2015 BELGO RD	LOT B, PLAN 1845, SEC 14, TWP 26, 41	6.38	888.48
217	04346.000	1565 1 BELGO RD	LOT B, PLAN 1846, SEC 14, TWP 26, 41	5.41	753.40
217	04349.000	1775 TEASDALE RD	LOT 2, PLAN B3498, SEC 14, TWP 26, 41	3.2	445.63
217	04350.000	1469 TEASDALE RD	LOT 1, PLAN 4384, SEC 14, TWP 26, 41	7.52	1047.24
217	04351.000	1429 TEASDALE RD	LOT 2, PLAN 4384, SEC 14, TWP 26, 41	1.96	272.95

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217	04353.000	3675 EAST KELOWNA RD	LOT A, PLAN KAP76792, SEC 15, TWP 26, 41	1	139.26
217	04354.000	3257 REID RD	LOT B, PLAN KAP76792, SEC 15, TWP 26, 41	10.92	1520.72
217	04360.093	3754 EAST KELOWNA RD	LOT B, PLAN KAP84170, SEC 14, TWP 26, 41	7.58	1055.59
217	04360.267	1708 GREEN RD	LOT 1, PLAN KAP82075, SEC 14, TWP 26, 41	5.38	749.22
217	04360.268	1655 GREEN RD	LOT 2, PLAN KAP82075, SEC 14, TWP 26, 41	7.44	1036.09
217	04360.354	1950 BELGO RD	LOT 2, PLAN 25528, SEC 14, TWP 26, 41	14.27	1987.24
217	04360.484	3860 EAST KELOWNA RD	LOT A, PLAN 32177, SEC 14, TWP 26, 41	2.86	398.28
217	04360.527	3795 EAST KELOWNA RD	LOT A, PLAN KAP58793, SEC 14, TWP 26, 41	2.04	284.09
217	04362.000	3193 DUNSTER RD	LOT 5, PLAN 187, SEC 16, TWP 26, 41	1	139.26
217	04364.000	2995 DUNSTER RD	LOT 6, PLAN 187, SEC 15, TWP 26, 41	1.77	246.49
217	04365.000	3098 EAST KELOWNA RD	LOT 6, PLAN 187, SEC 15, TWP 26, 41	9.89	1377.28
217	04366.000	3002 EAST KELOWNA RD	LOT 6, PLAN 187, SEC 15, TWP 26, 41	3.25	452.60
217	04367.000	2855 DUNSTER RD	LOT 7, PLAN 187, SEC 15, TWP 26, 41	16.3	2269.94
217	04368.000	3152 EAST KELOWNA RD	LOT 7, PLAN 187, SEC 15, TWP 26, 41	16.12	2244.87
217	04369.000	2795 DUNSTER RD	LOT 8, PLAN 187, SEC 15, TWP 26, 41	17.25	2402.24
217	04370.000	3250 EAST KELOWNA RD	LOT 8, PLAN 187, SEC 15, TWP 26, 41	16.9	2353.49
217	04372.000	3208 EAST KELOWNA RD	LOT 8, PLAN 187, SEC 15, TWP 26, 41	9.17	1277.01
217	04375.000	3350 POOLEY RD	LOT 20, PLAN 187, SEC 15, TWP 26, 41	10.05	1399.56
217	04378.000	3053 DUNSTER RD	LOT 11, PLAN 665, SEC 15, TWP 26, 41	6.99	973.43
217	04379.000	3073 DUNSTER RD	LOT 12, PLAN 665, SEC 16, TWP 26, 41	6.2	863.41
217	04380.000	3502 EAST KELOWNA RD	LOT 11, PLAN 187, SEC 15, TWP 26, 41	8.4	1169.78
217	04381.000	2947 EAST KELOWNA RD	LOT 1, PLAN 736, SEC 15, TWP 26, 41	8	1114.08
217	04382.000	2981 EAST KELOWNA RD	LOT 2, PLAN 736, SEC 15, TWP 26, 41	6.6	919.12
217	04385.000	3072 EAST KELOWNA RD	LOT 6, PLAN B821, SEC 15, TWP 26, 41	4.08	568.18
217	04386.001	3622 EAST KELOWNA RD	LOT 12, PLAN 187, SEC 15, TWP 26, 41	4.19	583.50
217	04387.000	3183 DUNSTER RD	LOT , PLAN 187, SEC 15, TWP 26, 41	4.58	637.81
217	04392.000	3097 EAST KELOWNA RD	LOT 23, PLAN B1550, SEC 15, TWP 26, 41	8.39	1168.39
217	04394.000	3582 EAST KELOWNA RD	LOT B, PLAN 1670, SEC 15, TWP 26, 41	2.16	300.80
217	04396.000	2960 MCCULLOCH RD	LOT B, PLAN 1703, SEC 15, TWP 26, 41	4.41	614.14

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Jurisdiction	Roll	Grower Address	Legal Description	Adj Total	139.26
217	04400.000	3430 POOLEY RD	LOT B, PLAN 1725, SEC 15, TWP 26, 41	12.77	1778.35
217	04402.000	3251 EAST KELOWNA RD	LOT 1, PLAN 3379, SEC 15, TWP 26, 41	7.22	1005.46
217	04403.000	3240 POOLEY RD	LOT 2, PLAN 3379, SEC 15, TWP 26, 41	2.22	309.16
217	04404.000	3260 POOLEY RD	LOT 3, PLAN 3379, SEC 15, TWP 26, 41	11.19	1558.32
217	04406.000	3420 EAST KELOWNA RD	LOT 1, PLAN 3380, SEC 15, TWP 26, 41	11.75	1636.31
217	04407.000	3490 EAST KELOWNA RD	LOT 2, PLAN 3380, SEC 15, TWP 26, 41	9.84	1370.32
217	04412.000	3288 REID RD	LOT A, PLAN 4618, SEC 15, TWP 26, 41	13.17	1834.05
217	04416.000	3329 EAST KELOWNA RD	LOT 1, PLAN 5512, SEC 15, TWP 26, 41	6.69	931.65
217	04418.000	3375 DALL RD	LOT 1, PLAN 6585, SEC 15, TWP 26, 41	7.95	1107.12
217	04420.000	3060 POOLEY RD	LOT 2, PLAN 6585, SEC 15, TWP 26, 41	2.15	299.41
217	04423.190	3350 EAST KELOWNA RD	LOT 1, PLAN 30593, SEC 15, TWP 26, 41	1	139.26
217	04423.192	3310 EAST KELOWNA RD	LOT 2, PLAN 30593, SEC 15, TWP 26, 41	14.26	1985.85
217	04423.194	3410 POOLEY RD	LOT A, PLAN 34483, SEC 15, TWP 26, 41	4.5	626.87
217	04423.198	3120 POOLEY RD	LOT B, PLAN 34888, SEC 15, TWP 26, 41	9.16	1275.62
217	04423.205	3480 POOLEY RD	LOT A, PLAN KAP53451, SEC 15, TWP 26, 41	1	139.26
217	04423.207	3367 REID RD	LOT B, PLAN KAP55650, SEC 15, TWP 26, 41	1.85	257.63
217	04423.208	3390 REID RD	LOT 1, PLAN KAP56635, SEC 15, TWP 26, 41	1	139.26
217	04423.209	3360 REID RD	LOT 2, PLAN KAP56635, SEC 15, TWP 26, 41	7.32	1019.38
217	04428.000	3395 NEID RD	LOT 26, PLAN KAP187, SEC 16, TWP 26, 41	6.13	853.66
217	04432.000	3194 DUNSTER RD	LOT 5, PLAN KAP665, SEC 16, TWP 26, 41	1.94	270.16
217	04433.000	3172 DUNSTER RD	LOT 6, PLAN 665, SEC 16, TWP 26, 41	4.93	686.55
217	04436.000	3042 1 DUNSTER RD	LOT 9, PLAN 665, SEC 16, TWP 26, 41	1.66	231.17
217	04524.406	3330 NEID RD	LOT B, PLAN KAP26053, SEC 16, TWP 26, 41	5.8	807.71
217	04525.125	2830 EAST KELOWNA RD	LOT A, PLAN 32982, SEC 16, TWP 26, 41	7.45	1037.49
217	04525.228	2877 EAST KELOWNA RD	LOT B, PLAN 33697, SEC 16, TWP 26, 41	8.05	1121.04
217	04525.503	2690 BEWLAY RD	LOT 1, PLAN KAP56199, SEC 16, TWP 26, 41	3.2	445.63
217	04574.000	2990 DUNSTER RD	LOT , PLAN B1353, SEC 21, TWP 26, 41	12.19	1697.68
217	04591.000	2934 DUNSTER RD	LOT C, PLAN 1700, SEC 22, TWP 26, 41	6.92	963.68
217	04805.214	2960 DUNSTER RD	LOT 1, PLAN KAP73437, SEC 22, TWP 26, 41	9.65	1343.86

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Jurisdiction	Roll	Grower Address	Legal Description	Adj Total	139.26
217	04814.000	1250 BELGO RD	LOT 3, PLAN 2128, SEC , TWP 26, 41	5.94	827.20
217	04824.000	1205 BELGO RD	LOT 2, PLAN 2329, SEC 23, TWP 26, 41	2.42	337.01
217	04825.001	1368 3 TEASDALE RD	LOT 3, PLAN 2329, SEC 23, TWP 26, 41	18.65	2597.20
217	04837.000	1454 TEASDALE RD	LOT A, PLAN 4697, SEC 23, TWP 26, 41	2.91	405.25
217	04884.000	1255 BELGO RD	LOT 2, PLAN B5620, SEC , TWP 26, 41	14.91	2076.37
217	04898.000	1258 BELGO RD	LOT 3, PLAN 9679, SEC , TWP 26, 41	8.94	1244.98
217	05479.000	3363 SPRINGFIELD RD	LOT 5, PLAN 1802, SEC 24, TWP 26, 41	12.14	1690.62
217	05482.001	700 HIGHWAY 33 E	LOT A, PLAN EPP7145, SEC 24, TWP 26, 41	1	139.26
217	05502.130	811 HIGHWAY 33 E	LOT A, PLAN 23321, SEC 24, TWP 26, 41	1.93	268.77
217	05502.305	1151 LEWIS RD	LOT A, PLAN 33567, SEC 24, TWP 26, 41	5.94	827.20
217	05502.310	881 HIGHWAY 33 E	LOT B, PLAN 33567, SEC 24, TWP 26, 41	9.67	1346.64
217	05502.550	1251 MCKENZIE RD	LOT B, PLAN KAP74860, SEC , TWP 26, 41	7.83	1090.41
217	05503.001	751 HARTMAN RD	LOT , PLAN 264, SEC 25, TWP 26, 41	8.85	1232.45
217	05510.000	920 HARTMAN RD	LOT 3, PLAN 731, SEC 25, TWP 26, 41	6.38	888.48
217	05511.000	1130 HARTMAN RD	LOT 4, PLAN 731, SEC 25, TWP 26, 41	5.37	747.83
217	05513.002	1080 GIBSON RD	LOT A, PLAN EPP11757, SEC 25, TWP 26, 41	7.32	1019.38
217	05514.000	1145 MORRISON RD	LOT 2, PLAN 1515, SEC 25, TWP 26, 41	2.85	396.89
217	05516.000	712 MCCURDY RD E	LOT 4, PLAN 1515, SEC 25, TWP 26, 41	6.83	951.15
217	05517.000	315 GIBSON RD	LOT 4, PLAN 1760, SEC 25, TWP 26, 41	4.01	558.43
217	05519.002	1610 SWAINSON RD	LOT 1, PLAN KAP77945, SEC , TWP 26, 41	10.86	1512.36
217	05524.000	1308 MCKENZIE RD	LOT 12, PLAN 1760, SEC 25, TWP 26, 41	4.21	586.28
217	05529.000	1795 MCCURDY RD E	LOT 1, PLAN KAP77943, SEC , TWP 26, 41	13.14	1829.88
217	05530.000	1550 SWAINSON RD	LOT 1, PLAN KAP77944, SEC , TWP 26, 41	15.67	2182.20
217	05540.000	1485 SWAINSON RD	LOT 4, PLAN 3609, SEC 25, TWP 26, 41	1.93	268.77
217	05548.000	1090 MCKENZIE RD	LOT 2, PLAN 4586, SEC 25, TWP 26, 41	20.42	2843.69
217	05561.000	690 HARTMAN RD	LOT A, PLAN 5499, SEC 25, TWP 26, 41	17.43	2427.30
217	05579.333	1310 MCKENZIE RD	LOT A, PLAN KAP77650, SEC 25, TWP 26, 41	1	139.26
217	05579.469	1045 EL PASO RD	LOT 22, PLAN 22986, SEC 25, TWP 26, 41	5	696.30
217	05579.575	839 HARTMAN RD	LOT 2, PLAN 29183, SEC 25, TWP 26, 41	17.85	2485.79

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RDCC

2013 S.I.R. PARCEL TAX ROLL

JURISDICTIONS: 217

Jurisdiction	Roll	Grower Address	Legal Description	Adj Total	139.26
217	05579.684	837 HARTMAN RD	LOT A, PLAN 35135, SEC 25, TWP 26, 41	2.66	370.43
217	06403.001	2030 SUMMIT DR	LOT 1, PLAN KAP71444, SEC 29, TWP 26, 41	5.13	714.40
217	06403.002	2060 SUMMIT DR	LOT 2, PLAN KAP71444, SEC 29, TWP 26, 41	2.6	362.08
217	06403.045	2045 SUMMIT DR	LOT C, PLAN KAP62558, SEC , TWP 26, 41	9.18	1278.41
217	06470.000	483 VALLEY RD	LOT 1, PLAN 896, SEC 32, TWP 26, 41	4.7	654.52
217	06471.000	463 VALLEY RD	LOT 2, PLAN 896, SEC , TWP 26, 41	2.03	282.70
217	06499.001	445 VALLEY RD	LOT 3, PLAN 896, SEC 33, TWP 26, 41	8.07	1123.83
217	06501.000	2224 ROJEM RD	LOT 4, PLAN 896, SEC 33, TWP 26, 41	8.87	1235.24
217	06502.000	389 VALLEY RD	LOT 5, PLAN 896, SEC 33, TWP 26, 41	9.68	1348.04
217	06507.000	2429 LONGHILL RD	LOT 14, PLAN 1068, SEC 33, TWP 26, 41	11.55	1608.45
217	06508.000	2449 LONGHILL RD	LOT 15, PLAN 1068, SEC 33, TWP 26, 41	1.61	224.21
217	06510.000	120 MAIL RD	LOT 15, PLAN 1068, SEC , TWP 26, 41	8.18	1139.15
217	06511.000	102 MAIL RD	LOT 16, PLAN KAP1068, SEC , TWP 26, 41	8.75	1218.53
217	06524.000	2300 30 SILVER PL	LOT 8, PLAN 1249, SEC 33, TWP 26, 41	3.43	477.66
217	06525.000	2227 ROJEM RD	LOT 9, PLAN 1249, SEC 33, TWP 26, 41	3.07	427.53
217	06527.000	2255 ROJEM RD	LOT 11, PLAN 1249, SEC 33, TWP 26, 41	4.51	628.06
217	06528.000	2309 ROJEM RD	LOT 12, PLAN 1249, SEC 33, TWP 26, 41	4.58	637.81
217	06529.000	2323 ROJEM RD	LOT 13, PLAN 1249, SEC 33, TWP 26, 41	2.78	387.14
217	06533.000	2379 ROJEM RD	LOT 17, PLAN 1249, SEC 33, TWP 26, 41	2.12	295.23
217	06541.000	330 VALLEY RD	LOT 2, PLAN 4043, SEC 33, TWP 26, 41	1	139.26
217	06554.120	2389 2 ROJEM RD	LOT A, PLAN 26223, SEC 33, TWP 26, 41	4.91	683.77
217	06554.140	2400 LONGHILL RD	LOT A, PLAN 26592, SEC 4833, TWP 23, 41	2.41	335.62
217	06554.160	2461 LONGHILL RD	LOT A, PLAN 28623, SEC 33, TWP 26, 41	6.07	845.31
217	06554.195	2350 SILVER PL	LOT 1, PLAN 33461, SEC 33, TWP 26, 41	4.57	636.42
217	06554.197	2489 LONGHILL RD	LOT 2, PLAN 33461, SEC 33, TWP 26, 41	4.13	575.14
217	06554.199	574 RIFLE RD	LOT 3, PLAN 33461, SEC 33, TWP 26, 41	3.39	472.09
217	06554.238	2351 ROJEM RD	LOT C, PLAN KAP61113, SEC 33, TWP 26, 41	4.45	619.71
217	06557.002	2710 LONGHILL RD	LOT B, PLAN KAP88097, SEC 34, TWP 26, 41	1	139.26
217	06612.470	2512 LONGHILL RD	LOT A, PLAN 26258, SEC , TWP 26, 41	13.5	1880.01

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JURISDICTIONS: 217

2013 S.I.R. PARCEL TAX ROLL

RDCC

Jurisdiction	Roll	Grower Address	Legal Description	Adj Total	139.26
217	06612.672	2614 LONGHILL RD	LOT 1, PLAN 40166, SEC 34, TWP 26, 41	3.59	499.94
217	06773.003	1685 RUTLAND RD N	LOT 3, PLAN 18313, SEC 35, TWP 26, 41	1.41	196.36
217	06776.900	1990 MCKENZIE RD	LOT 2, PLAN 425, SEC 36, TWP 26, 41	11.58	1612.63
217	06777.000	1900 MCKENZIE RD	LOT 3, PLAN 425, SEC 36, TWP 26, 41	5.78	804.92
217	06778.000	1893 MORRISON RD	LOT 3, PLAN 425, SEC 36, TWP 26, 41	2.57	357.90
217	06788.000	1304 MORRISON RD	LOT 10, PLAN 425, SEC 36, TWP 26, 41	7	974.82
217	06794.000	685 2. OLD VERNON RD	LOT 16, PLAN 425, SEC , TWP 26, 41	7.14	994.32
217	06799.505	1425 MORRISON RD	LOT B, PLAN EPP15301, SEC 36, TWP 26, 41	7.45	1037.49
217	06803.000	1350 HORNING RD	LOT 20, PLAN 1760, SEC 36, TWP 26, 41	14.64	2038.77
217	06805.005	1920 MCCURDY RD E	LOT 3, PLAN KAP91486, SEC 31, TWP 27, 41	16.95	2360.46
217	06806.000	1431 LATTA RD	LOT 24, PLAN 1760, SEC , TWP 26, 41	2.65	369.04
217	06807.001	1305 LATTA RD	LOT 25, PLAN 1760, SEC 36, TWP 26, 41	12.99	1808.99
217	06814.005	1360B LATTA RD	LOT 1, PLAN KAP91485, SEC 31, TWP 27, 41	15.86	2208.66
217	06814.006	1400 LATTA RD	LOT 2, PLAN KAP91485, SEC 31, TWP 27, 41	15.6	2172.46
217	06814.007	1444 LATTA RD	LOT 3, PLAN KAP91485, SEC 31, TWP 27, 41	17.21	2396.66
217	06817.001	1331 MCCURDY RD E	LOT 1, PLAN 4060, SEC 36, TWP 26, 41	18.36	2556.81
217	06819.000	1545 MCCURDY RD E	LOT 3, PLAN 4060, SEC 36, TWP 26, 41	14.19	1976.10
217	06820.000	1445 LATTA RD	LOT 25, PLAN B4218, SEC 36, TWP 26, 41	12.18	1696.19
217	06828.195	1425 MCCURDY RD E	LOT 2, PLAN KAP23935, SEC 36, TWP 26, 41	1.51	210.28
217	06828.490	1761 MORRISON RD	LOT A, PLAN 25654, SEC 36, TWP 26, 41	3.97	552.86
217	06828.500	1750 MCKENZIE RD	LOT B, PLAN 25654, SEC 36, TWP 26, 41	10.46	1456.66
217	06828.524	1700 MCKENZIE RD	LOT D, PLAN 25654, SEC 36, TWP 26, 41	7.41	1031.92
217	06828.618	1905 JONATHAN RD	LOT 1, PLAN KAP33998, SEC 36, TWP 26, 41	1	139.26
217	06828.642	837 MCCURDY RD E	LOT 2, PLAN EPP14181, SEC 36, TWP 26, 41	1	139.26
217	06886.003	2025 1 TREETOP RD	LOT 1, PLAN 1760, SEC , TWP 27, 41	13.51	1881.40
217	06960.184	240 AMBRIDGEFELD RD	LOT B, PLAN KAP91899, SEC 16, TWP 28, 54	1	139.26
217	07143.000	559 BARNABY RD	LOT 3, PLAN 1743, SEC 25, TWP 28, 54	1	139.26
217	07145.001	4950 FROST RD	LOT 1, PLAN KAP90220, SEC , TWP 28, 54	5.31	739.47
217	07161.000	4856 LAKESHORE RD	LOT , PLAN 1722, SEC 25, TWP 29, 41	3.73	519.44

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JURISDICTIONS: 217

2013 S.I.R. PARCEL TAX ROLL

RDCO

Jurisdiction	Roll	Grower Address	Legal Description	Adj Total	139.26
217	07264.002	1456 DEHART RD	LOT 1, PLAN 1837, SEC , TWP 29, 41	11.58	1612.63
217	07269.000	999 CRAWFORD RD	LOT 1, PLAN 13170, SEC 31, TWP 29, 41	11.85	1650.23
217	07270.072	1265 CRAWFORD RD	LOT 2, PLAN 21104, SEC 31, TWP 29, 41	1	139.26
217	07270.074	1285 CRAWFORD RD	LOT 3, PLAN 21104, SEC , TWP 29, 41	1	139.26
217	07278.000	4551 STEWART RD W	LOT 20, PLAN 1247, SEC 32, TWP 29, 41	2.89	402.46
217	07280.000	4480 STEWART RD E	LOT 222, PLAN 1247, SEC 32, TWP 29, 41	1	139.26
217	07286.000	1690 SAUCIER RD	LOT 228, PLAN 1247, SEC 32, TWP 29, 41	1	139.26
217	07287.000	1670 SAUCIER RD	LOT 229, PLAN 1247, SEC 32, TWP 29, 41	5.27	733.90
217	07290.000	1650 SAUCIER RD	LOT 232, PLAN 1247, SEC 32, TWP 29, 41.	10.97	1527.68
217	07291.000	4202 BEDFORD RD	LOT 233, PLAN 1247, SEC 32, TWP 29, 41	9.74	1356.39
217	07293.000	1601 SAUCIER RD	LOT 238, PLAN 1247, SEC 32, TWP 29, 41	1.62	225.60
217	07296.000	1475 DEHART RD	LOT 246, PLAN 1247, SEC 32, TWP 29, 41	1	139.26
217	07304.000	4132 BEDFORD RD	LOT 3, PLAN 15793, SEC 32, TWP 29, 41	6.38	888.48
217	07304.010	1485 DEHART RD	LOT 1, PLAN 20969, SEC 32, TWP 29, 41	1.21	168.50
217	07351.000	4305 JAUD RD	LOT 5, PLAN 6171, SEC 34, TWP 29, 41	17.49	2435.66
217	09532.000	2527 GALE RD	LOT 1, PLAN 10810, SEC , TWP , 41	1	139.26
217	09533.000	2517 GALE RD	LOT 2, PLAN 10810, SEC , TWP , 41	5.02	699.09
217	09533.051	2545 GALE RD	LOT B, PLAN 19044, SEC , TWP , 41	1	139.26
217	09533.052	2499 GALE RD	LOT C, PLAN 19044, SEC , TWP , 41	1	139.26
217	09533.053	2475 GALE RD	LOT D, PLAN 19044, SEC , TWP , 41	1	139.26
217	09533.054	2449 GALE RD	LOT E, PLAN 19044, SEC , TWP , 41	1	139.26
217	09533.055	2427 GALE RD	LOT F, PLAN 19044, SEC , TWP , 41	1	139.26
217	10393.000	2050 BYRNS RD	LOT 1, PLAN 2830, SEC 17, TWP 26, 41	21.88	3047.01
217	10394.001	2190 COOPER RD	LOT A, PLAN KAP80629, SEC , TWP , 41	6.7	933.04
217	10410.000	1756 BYRNS RD	LOT 23, PLAN 415, SEC , TWP , 41	9.35	1302.08
217	10411.000	1890 BYRNS RD	LOT 23, PLAN 415, SEC 19, TWP 26, 41	4.35	605.78
217	10414.000	1756 BYRNS RD	LOT 26, PLAN 415, SEC , TWP , 41	13.28	1849.37
217	10517.000	2225 BURTCR RD	LOT 1, PLAN KAP78759, SEC , TWP , 41	1	139.26
217	10518.000	1650 BYRNS RD	LOT 2, PLAN KAP78759, SEC , TWP , 41	3.61	502.73

JURISDICTIONS: 217

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2013 S.I.R. PARCEL TAX ROLL

JURISDICTIONS: 217

Jurisdiction	Roll	Grower Address	Legal Description	Adj Total	139.26
217	10519.852	2225 SPALL RD	LOT B, PLAN 40808, SEC , TWP , 41	13.45	1873.05
217	10519.854	1980 BYRNS RD	LOT C, PLAN 40808, SEC , TWP , 41	10.99	1530.47
217	10519.856	1990 BYRNS RD	LOT D, PLAN 40808, SEC , TWP , 41	1	139.26
217	10531.000	1909 BYRNS RD	LOT 15, PLAN 415, SEC , TWP , 41	10.05	1399.56
217	10539.000	2429 BENVOLULIN RD	LOT 2, PLAN 2332, SEC , TWP , 41	1	139.26
217	10543.001	2589 BENVOLULIN RD	LOT 1, PLAN 3357, SEC , TWP , 41	6.26	871.77
217	10549.000	2029 BYRNS RD	LOT 2, PLAN 8615, SEC , TWP , 41	4.72	657.31
217	10589.113	1909 BYRNS RD	LOT B, PLAN KAP67173, SEC , TWP , 41	23.85	3321.35
217	10766.035	1394 LADNER RD	LOT 1, PLAN KAP73438, SEC , TWP , 41	3.15	438.67
217	11501.711	4365 HOBSON RD	LOT 25, PLAN 27559, SEC , TWP , 41	1.81	252.06
217	11502.309	4340 HOBSON RD	LOT A, PLAN KAP69885, SEC , TWP , 41	1	139.26
217	12185.840	2450 SAUCIER RD	LOT 166, PLAN 1247, SEC 33, TWP 29, 41	3.68	512.48
217	12185.870	2225 SAUCIER RD	LOT 180, PLAN 1247, SEC 33, TWP 29, 41	1	139.26
217	12191.000	4400 JAUD RD	LOT 3, PLAN 1734, SEC 33, TWP 29, 41	14.1	1963.57
217	12199.072	4499 WALLACE HILL RD	LOT A, PLAN 35213, SEC , TWP , 41	2.06	286.88
217	12199.082	4410 WALLACE HILL RD	LOT 2, PLAN 39632, SEC , TWP , 41	4.88	679.59
217	12199.086	4250 WALLACE HILL RD	LOT 4, PLAN 39632, SEC , TWP , 41	1.49	207.50
217	12199.103	2825 BALDDOCK RD	LOT 14, PLAN KAP62784, SEC , TWP , 41	3.11	433.10
217	12199.105	4300 WALLACE HILL RD	LOT B, PLAN KAP62482, SEC , TWP , 41	15.82	2203.09
	367			2,532.60	352,689.88

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Report to Council



Date: April 16, 2013
File: 0600-10
To: City Manager
From: City Clerk
Subject: BL10842 - Road Closure and Removal of Highway Dedication - Portion of Land West of 4753 Gordon Drive
Report Prepared by: C. Boback, Legislative Coordinator

Recommendation:

THAT Council provides an opportunity for public input on the proposed road closure for BL10842 - Road Closure and Removal of Highway Dedication - Portion of Land West of 4753 Gordon Drive;

AND THAT Bylaw No. 10842 ,being Road Closure and Removal of Highway Dedication - Portion of Land West of 4753 Gordon Drive be adopted.

Purpose:

To consider adoption of Bylaw No. 10842 being Road Closure and Removal of Highway Dedication - Portion of Land West of 4753 Gordon Drive.

Background:

Bylaw No. 10842 received first three readings by Council on Monday, April 15, 2013. A copy of the Bylaw is attached. The following conditions of adoption have been met:

1. Newspaper Advertisements placed in local newspaper on Friday, April 19 and Friday, April 26, 2013 with the Monday, April 29, 2013 adoption date;
2. Posted on Public Notice Board;

Following an opportunity for the public to provide input at the Monday, April 29, 2013 meeting of Council, the bylaw may be considered for adoption. Registration at the Land Titles Office will proceed after the bylaw is adopted.

Submitted by:

S. Fleming, City Clerk

CITY OF KELOWNA

BYLAW NO. 10842

Road Closure and Removal of Highway Dedication Bylaw
(Portion of Gordon Drive)

A bylaw pursuant to Section 40 of the Community Charter to authorize the City to permanently close and remove the highway dedication of a portion of highway on Gordon Drive

NOW THEREFORE, the Municipal Council of the City of Kelowna, in open meeting assembled, hereby enacts as follows:

1. That portion of highway attached as Schedule "A" comprising 0.107ha shown in bold black as Road to be Closed on Reference Plan EPP29741, prepared by Neil R. Denby, B.C.L.S., is hereby stopped up and closed to traffic and the highway dedication removed.
2. The Mayor and City Clerk of the City of Kelowna are hereby authorized to execute such conveyances, titles, survey plans, forms and other documents on behalf of the said City as may be necessary for the purposes aforesaid.

Read a first, second and third time by the Municipal Council this 15th day of April, 2013.

Adopted by the Municipal Council of the City of Kelowna this

Mayor

City Clerk

Schedule "A"

